

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THESE DOCUMENTS AND TO THE ACCEPTED NATIONAL STANDARDS FOR THAT TRADE. WHERE THESE DOCUMENTS DIFFER FROM THE ACCEPTED STANDARDS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN UNLESS THE OWNER'S REPRESENTATIVE ACCEPTS THE LESSER STANDARD. A PARTIAL LIST OF THE TRADE STANDARDS FOLLOWS:
- AMERICAN ALUMINUM MANUFACTURER'S ASSOCIATION
- AMERICAN CONCRETE INSTITUTE
- AMERICAN BOARD PRODUCTS ASSOCIATION
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC.
- AMERICAN IRON AND STEEL INSTITUTE
- AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
- AMERICAN PLYWOOD ASSOCIATION
- AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS, INC.
- THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS, INC.
- THE ARCHITECTURAL WOODWORK INSTITUTE
- AMERICAN WOOD PRESERVERS ASSOCIATION
- BUILDERS HARDWARE MANUFACTURER'S ASSOCIATION
- BRICK INSTITUTE OF AMERICA
- BUILDING STONE INSTITUTE
- COPPER DEVELOPMENT ASSOCIATION, INC.
- CALIFORNIA REDWOOD ASSOCIATION
- THE CARPET AND RUG INSTITUTE
- THE DOOR AND HARDWARE INSTITUTE
- FACING TILE INSTITUTE
- GYPSON ASSOCIATION
- GLASS TEMPERING ASSOCIATION
- HARDWOOD PLYWOOD MANUFACTURER'S ASSOCIATION
- INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERING, INC.
- MARBLE INSTITUTE OF AMERICA
- METAL LATH / STEEL FRAMING ASSOCIATION
- NATIONAL FIRE PROTECTION ASSOCIATION
- NATIONAL FOREST PRODUCTS ASSOCIATION
- NATIONAL PARTICLE BOARD ASSOCIATION
- NATIONAL PAINT AND COATING ASSOCIATION
- NATIONAL TERRAZZO AND MESA, INC.
- PORCELAM ENAMEL INSTITUTE, INC.
- SOUTHERN FOREST PRODUCTS ASSOCIATION
- STEEL JOIST INSTITUTE
- STUCCO MANUFACTURER'S ASSOCIATION
- THE SOCIETY OF THE PLASTIC INDUSTRY, INC.
- THE COUNCIL OF AMERICA, INC.
- UNDERWIRETECH LABORATORY, INC.
- WOOD AND SYNTHETIC FLOORING INSTITUTE
- WOODWORK INSTITUTE OF CALIFORNIA

ELECTRICAL NOTES:

- ALL DEVICES ARE NEW, UNLESS NOTED OTHERWISE.
- DATA / TELEPHONE CABLE IN RETURN AIR PLENUM SHALL BE PLENUM RATED OR INSTALLED IN CONDUIT.
- DO NOT INSTALL ELECTRICAL DEVICES IN THE "POCKET" OF POCKET DOORS.
- ALL OUTLETS WITHIN 6' OF LAVS OR SINKS TO BE ON GFI CIRCUIT.
- ALL GANGED SWITCHED SHALL HAVE GANG BARRIERS AND A COMMON COVER PLATE. SWITCHES SHALL BE GANGED WHERE POSSIBLE.

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS BEFORE SUBMITTING BID AND CONSTRUCTION. INFORM OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON THESE DRAWINGS, OR REPORTED IN SPECIFICATIONS, SHALL BE IN ACCORDANCE WITH ALL CITY OF HOUSTON BUILDING CODES, ORDINANCES, AND ALL OTHER LOCAL BUILDING CODES HAVING JURISDICTION.
- CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS TO COORDINATE WITH THE EXISTING CONDITIONS. ANY VARIANCES AND/OR DISCREPANCIES THAT ARISE IN THE ABOVE REVIEW ARE TO BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
- CONTRACTOR IS REQUIRED TO VISIT SITE AND EXAMINE ALL CONDITIONS AFFECTING THE PROJECT PRIOR TO SUBMITTING A BID.
- ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH "OTHER" CONTRACTORS AS REQUIRED.
- ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- MANUFACTURER'S MATERIALS, EQUIPMENT, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS NOTED OTHERWISE.
- THE WORK SHALL BE TURNED OVER TO THE OWNER IN IMMACULATE CONDITION. CLEANING INCLUDES REMOVAL OF SMUDGES, MARKS, STAINS, FINGERPRINTS, SOIL, DIRT, PAINT SPOTS, DUST, LINT DISCOLORATIONS AND OTHER FOREIGN MATERIALS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL STONEMARK, MILLWORK, MISCELLANEOUS METAL DOORS, DOOR HARDWARE AND EQUIPMENT. SHOP DRAWINGS SHOULD INCLUDE DETAILED FABRICATION DRAWINGS AND MATERIALS SCHEDULES, LOCATION AND ORIENTATION OF ALL ITEMS SHALL BE CLEARLY INDICATED. BEGIN FABRICATION ONLY AFTER RECEIVING APPROVAL OF SHOP DRAWINGS.
- PRICING SHALL INCLUDE ALL OBVIOUS WORK TO BE DONE ON AN OVERTIME BASIS; FLOOR DRILLING, CEILING PLENUM WORK IN OCCUPIED AREAS, MATERIAL MOVEMENT, SYSTEM SHUTDOWNS, ETC.
- PROVIDE DOOR STOPS AT ALL DOORS.
- ALL NEW GLAZING TO BE TEMPERED GLASS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS NOTED "CLEAR" OR "CLR" ARE FOR EQUIPMENT CLEARANCES AND MUST BE STRICTLY MAINTAINED.
- ALL DIMENSIONS NOTED "VERIFY" ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCES ARE TO BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
- "ALIGN" SHALL MEAN TO LOCATE FINISHED FACES IN THE SAME PLANE.
- ALL FLOORS ARE TO BE LEVELED, FILLED AND SWEEP BROOM CLEAN BY CONTRACTOR.

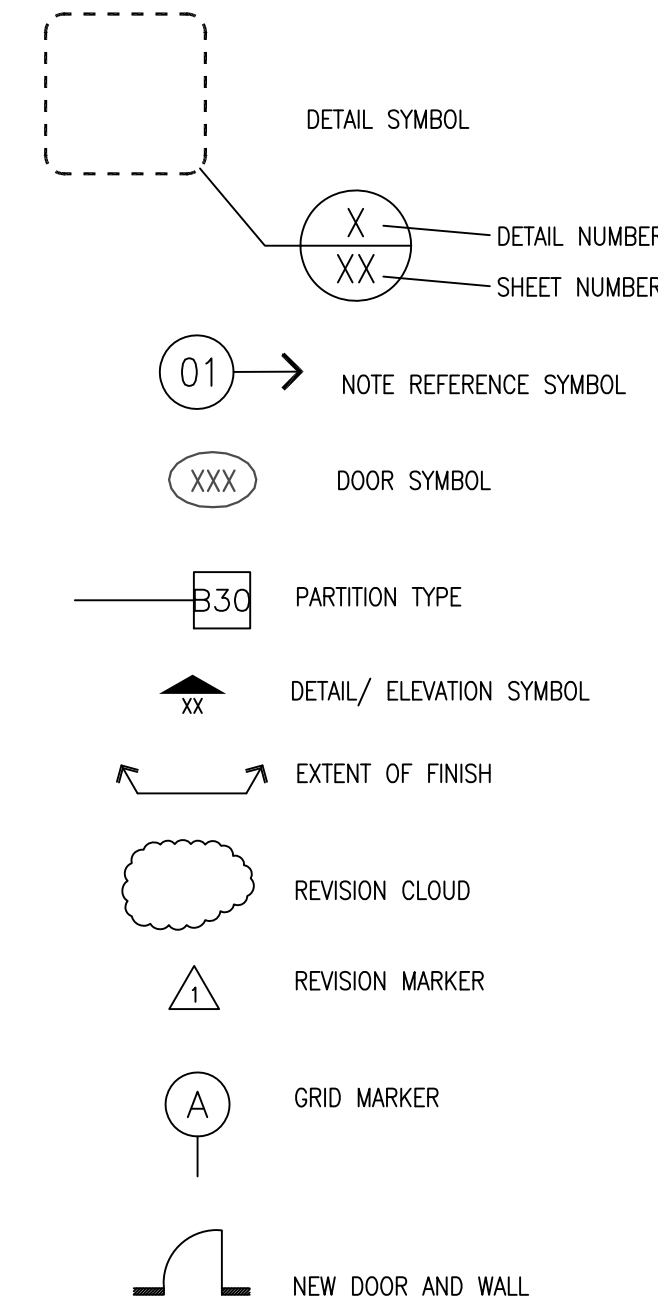
- GENERAL CONDITIONS**
AIA DOCUMENT A201, 1987 EDITION
- EXISTING CONDITIONS**
2.1 THE CONTRACTOR WILL BE DEEMED TO HAVE BEEN THOROUGHLY FAMILIAR WITH THE CONDITIONS OF THE BUILDING INTERIOR BEFORE SUBMITTING A PROPOSAL/BID FOR THIS WORK, AND TO HAVE BEEN SATISFIED AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, OR THAT WILL, IN ANY MANNER, AFFECT THE WORK. NO EXTRA PAYMENTS WILL BE MADE FOR CLAIMS FOR ADDITIONAL WORK THAT COULD HAVE BEEN DETERMINED OR ANTICIPATED PRIOR TO SUBMITTING THE PROPOSAL.
- CHECK AND VERIFY CONTRACT DOCUMENTS AND FIELD CONDITIONS FOR ACCURACY, CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK, OR RELATED WORK IN QUESTION.
- VERIFY ALL SPACE DIMENSIONS AS SHOWN WITH EXISTING SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- NOT USED.
- ALL AREAS OF THE WORK MUST BE SEALED FROM ADJACENT OCCUPIED PORTIONS OF THE BUILDING TO PREVENT THE ENTRY OF DUST AND NOISE. FURNISH AND MAINTAIN TEMPORARY PARTITIONS AND OTHER TYPES OF PROTECTION NECESSARY TO PREVENT AND PROTECT THE PUBLIC, THE OWNER'S STAFF, TENANTS, AND PERSONNEL EMPLOYED AT THE WORK SITE FROM ACCIDENTAL INJURY. THE CONTRACTOR SHALL PATCH AND FINISH TO MATCH EXISTING, ANY ADJACENT ROOMS OR CORRIDORS WHICH ARE AFFECTED, IN ANY MANNER, BY THIS CONSTRUCTION, INCLUDING THOSE SPACES ABOVE AND BELOW THE CONSTRUCTION SITE WHICH MAY PROVIDE REQUIRED ACCESS TO THE WORK. WHEN IT BECOMES NECESSARY TO OBTAIN ACCESS TO ADJACENT SPACES, INCLUDING THOSE ABOVE OR BELOW THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER IN ADVANCE, WITH AS MUCH ADVANCE NOTICE AS POSSIBLE. IN LAYING OUT AND DETAILING THE WORK TO BE CONSTRUCTED, CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE EXISTING STRUCTURE, FLOOR LEVELNESS, AND LIVE OR DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATION SHALL BE MADE OF EXISTING CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES AND VARIANCES. ALIGNMENT OF DOOR HEADS, CEILINGS, AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW ANY VARIATIONS IN THE FLOOR PLAN. LEVEL EXISTING FLOORS AS NECESSARY USING APPROVED LEVELING COMPOUND OR FLOATING DEVICES.
- ALL CONTRACTORS SHALL CHECK AND CONFIRM ALL BUILDING OPENINGS AND CLEARANCES FOR DELIVERY OF MATERIALS OR EQUIPMENT. CONFIRMATIONS SHALL INCLUDE, BUT NOT BE LIMITED TO, ELEVATOR DOORS AND CAB, ENTRY DOORS, AND TENANT DOORS.

- DOORS, FRAMES, AND HARDWARE**
4.2 ALL DOORS AND FRAMES SHALL BE PROPERLY ALIGNED, PLUMB, AND LEVEL.
- ALL LOCKS SHALL BE KEYPED IN ACCORDANCE WITH OWNER'S REQUIREMENTS.

- PARTITIONS**
5.1 USE TYPE "X" GYPSUM BOARD PANEL WHERE A FIRE RATING IS REQUIRED.
- USE CEMENT BOARD GYPSUM BOARD AT ALL WET LOCATION AND ALL AREAS TO RECEIVE WALL TILE.
- SPACE STUDS AS SHOWN, AND AS REQUIRED BY FIRE RESISTANCE SPECIFICATIONS, AND AT A MAXIMUM OF 16" ON CENTER.
- ALL GYPSUM BOARD RETURNS SHALL HAVE A METAL CORNER BEAD. ALL EXPOSED GYPSUM BOARD EDGES SHALL HAVE CONTINUOUS "L" BEADS. ALL GYPSUM BOARD BELOW THE CEILING SHALL BE TAPED AND FLOATED; ABOVE THE CEILING, TAPED ONLY.
- PROVIDE BRACING ABOVE THE CEILING ON ALL LONG UNBRACED WALLS, ABOVE DOORS AND ABOVE WINDOWS.
- WHERE A WALL IS SHOWN ALIGNED WITH MORE THAN ONE COLUMN OR CORE WALL, WHICH ARE NOT ALIGNED, THE CONTRACTOR SHALL ALIGN WITH THE FURTHEST PROJECTION AND ALL OTHER SURFACES ALONG THE ALIGNMENT SHALL BE FURRED TO THIS LINE. WALLS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FINISHED FLUSH AND SMOOTH WITH BASE BUILDING STRUCTURE, UNLESS INDICATED OTHERWISE.
- WHERE A DEMISING PARTITION ABOVE THE CEILING IS AT A RIGHT ANGLE TO THE STRUCTURAL DECK, PACK ALL VOIDS THOROUGHLY WITH FIBERGLASS INSULATION IN ORDER TO TIGHTLY CLOSE THE OPENINGS. OTHER PENETRATIONS IN DEMISING PARTITION ABOVE THE CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE.
- WHERE RECESSED ELECTRICAL PANEL BOXES ARE LOCATED, THEY SHALL BE FLUSH WITH THE FINISHED FACE OF THE PARTITION. ADJUST PARTITION DEPTH AS REQUIRED.
- PARTITIONS ABUTTING CURTAIN WALL MULLIONS SHALL NOT BE ATTACHED BY SCREWS OR ANY OTHER MECHANICAL FASTENERS.

- CEILINGS**
6.1 CEILING HEIGHTS ARE 9'-0" UNLESS NOTED OTHERWISE.
- CEILING GRID MEMBERS ARE ALUMINUM WITH A FACTORY FLAT WHITE FINISH ON ALL EXPOSED AREAS AND SHALL BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
- FLOOR COVERINGS**
7.1 THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR HAVING THE FLOOR PROPERLY PREPARED, PATCHED AND LEVELED PRIOR TO THE INSTALLATION OF ANY FLOOR COVERING.
- SUBMIT A FULL RANGE OF COLORS, TEXTURES, PATTERNS, AND FINISHES AVAILABLE FOR SELECTION.
- ALL DRYWALL PARTITIONS SHALL HAVE A 4" RESILIENT BASE UNLESS SPECIFIED OTHERWISE. USE A STRAIGHT BASE AT CARPETED SURFACES SURFACES OVER A PAD AND A COVED BASE AT HARD FLOORS AND DIRECT GULCH CARPET.
- PAINTING**
8.1 UNLESS OTHERWISE DIRECTED, ALL AREAS ARE TO BE PRIMED AND PAINTED IN ACCORDANCE WITH THE FINISH SCHEDULE.
- COLORS ARE TO BE SELECTED BY THE ARCHITECT.
- ALL NEW DRYWALL PARTITIONS SHALL RECEIVE ONE PRIME COAT AND TWO FINISH COATS OF INTERIOR EGGSHELL LATEX ENAMEL.
- ALL WALLS SHALL BE THOROUGHLY DRY AND DUST FREE BEFORE PAINTING.
- WALL TEXTURE SHALL BE "ORANGE PEEL" (SMALL FLAT ROUNDED BUMPS).
- ALL WOOD WORK AND CABINETRY SCHEDULED TO RECEIVE A PAINTED FINISH SHALL RECEIVE TWO FINISHED COATS OF SEMI-GLOSS ALKYLID ENAMEL.

ARCHITECTURAL LEGEND:



BUILDING CODES:

- Building Code 2006 International Building Code WITH CITY OF HOUSTON AMENDMENTS
- Fire Code 2006 International Fire Code
- Electrical Code 2011 National Electrical Code
- Plumbing Code 2006 Uniform Plumbing Code
- Mechanical Code 2006 Uniform Mechanical Code
- Energy Code 2009 International Energy Conservation Code

PROJECT DATA:

SCOPE:
INTERIOR BUILD OUT OF A TENANT LEASE SPACE FOR A RESTAURANT, APPROXIMATELY 2,690 SF.

BUILDING ADDRESS: 8338 SOUTHWEST FREEWAY HOUSTON, TEXAS 77027

BUILDING OWNER: GREATLAND LEASING & MANAGEMENT, LLC. 11602 BELLAIRE BOULEVARD, SUITE G HOUSTON, TEXAS 77072 PHONE: 281.530.4421

PROJECT AREA
GROSS AREA: 2,690 SQUARE FEET
OCCUPANCY TYPE: A-2 RESTAURANT

OCCUPANT LOAD:
DINING ASSEMBLY UNCONCENTRATED 1 PER 15 SQ. FT./ NET 1,105/15 = 74
FIXED SEATING, BOOTHS 1 PER 24 INCHES OF BOOTH SEAT LENGTH 480/24 = 20

KITCHEN 1 PER 200 SQ. FT./GROSS 682/200 = 4
STORAGE 1 PER 300 SQ FT./GROSS 78/300 = 1

TOTAL INTERIOR OCCUPANTS 99 OCCUPANTS

CONSTRUCTION TYPE: II-B

ALLOWABLE BUILDING AREA / HEIGHT: GROUP A-2: 2 STORES/9,500 SF

SPRINKLERED: NO

EGRESS WIDTH REQUIRED: A-2 RESTAURANT: 99 OCC. X .2 INCHES = 19.8 INCHES OR 32" CLEAR, WHICHEVER IS GREATER.

EGRESS WIDTH PROVIDED: 72 INCHES

PARKING: 2,690 GSF
RESTAURANT: 8 sp./1000 GSF = 22 REQ.
PROVIDED: 22 PARKING SPACES (1 HC)

PLUMBING FIXTURES:
A-2 RESTAURANT: 99 OCCUPANTS

GROUP A-2-RESTAURANT
REQUIRED WATER CLOSETS MALE: 1 PER 75 = 1
WATER CLOSETS PROVIDED: 1 WATER CLOSETS

REQUIRED WATER CLOSETS FEMALE: 1 PER 75 = 1
WATER CLOSETS PROVIDED: 1 WATER CLOSETS

REQUIRED LAVATORIES: 1 PER 200 = 1
LAVATORIES PROVIDED: 2 LAVATORIES

NOTE:

THIS IS AN INTERIOR BUILD-OUT OF A NEW RESTAURANT IN A PREVIOUSLY PERMITTED RESTAURANT LEASED SPACE. NO CHANGES TO OCCUPANCY TYPE OR SQUARE FOOTAGE.

DRAWING LIST:

- A0.0 PROJECT DATA
- A0.1 ADA DATA
- A0.5 SCHEDULES
- SV1.0 SURVEY
- A1.0 EXISTING SITE PLAN
- A2.0 FLOOR DEMO PLAN
- A2.1 FLOOR PLAN
- A2.3 FLOOR FINISH PLAN
- A2.4 FLOOR LIFE SAFETY PLAN
- A3.1 REFLECTED CEILING PLAN
- A4.0 INTERIOR ELEVATIONS
- A4.1 INTERIOR ELEVATIONS
- A8.2 MILLWORK DETAILS
- A8.3 MILLWORK DETAILS
- MECHANICAL**
M1.1 MECHANICAL FLOOR PLANS
M2.1 MECHANICAL DETAILS
M3.1 MECHANICAL SCHEDULES
- ELECTRICAL**
E1.1 ELECTRICAL LIGHTING PLAN
E2.1 ELECTRICAL POWER PLAN
E3.1 ELECTRICAL RISER DIAGRAM
E4.1 ELECTRICAL DETAILS & SPECS
- PLUMBING**
P1.1 PLUMBING FLOOR PLAN
P2.1 PLUMBING DETAILS
P3.1 PLUMBING GAS RISER
P4.1 PLUMBING SCHEDULE
P5.1 PLUMBING RISER DIAGRAM
- STRUCTURAL**
S1.0 CONCRETE INFILL PLAN
- KITCHEN**
K-1.0 FOOD SERVICE EQUIPMENT PLAN AND SCHEDULES
K-2.0 ELECTRICAL ROUGH-IN PLAN AND SCHEDULES
K-3.0 PLUMBING ROUGH-IN PLAN AND SCHEDULES
K-4.0 KITCHEN HOODS AND FAN DETAILS 1 OF 4
K-4.1 KITCHEN HOODS AND FAN DETAILS 2 OF 4
K-4.2 KITCHEN HOODS AND FAN DETAILS 3 OF 4
K-4.3 KITCHEN HOODS AND FAN DETAILS 4 OF 4
K-5.0 KITCHEN AND BAR ELEVATIONS



ISSUE
01-12-12 ISSUED FOR REVIEW
01-25-12 ISSUED FOR PERMIT
02-16-12 ISSUED FOR BIDDING

LEGENDS

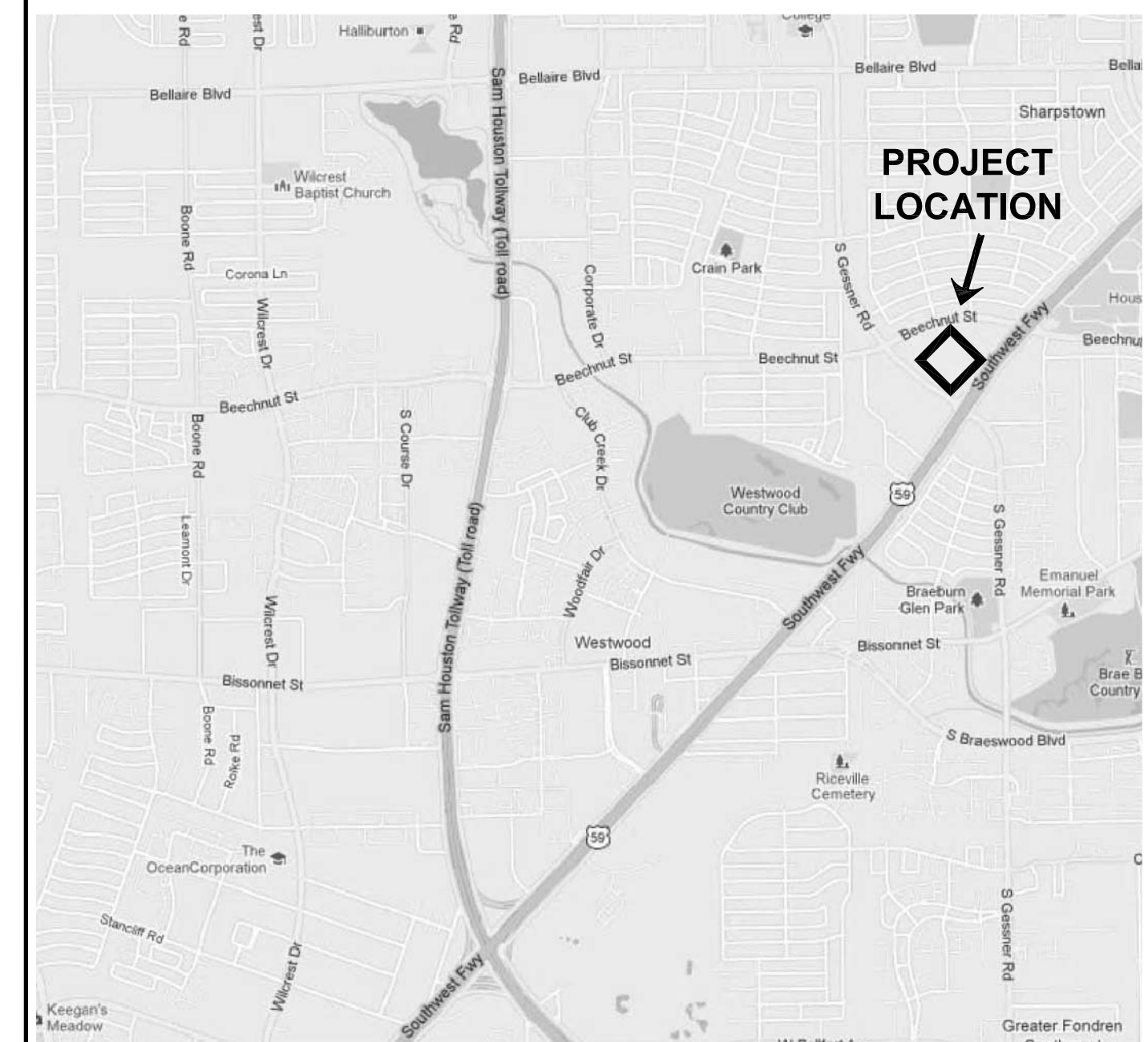
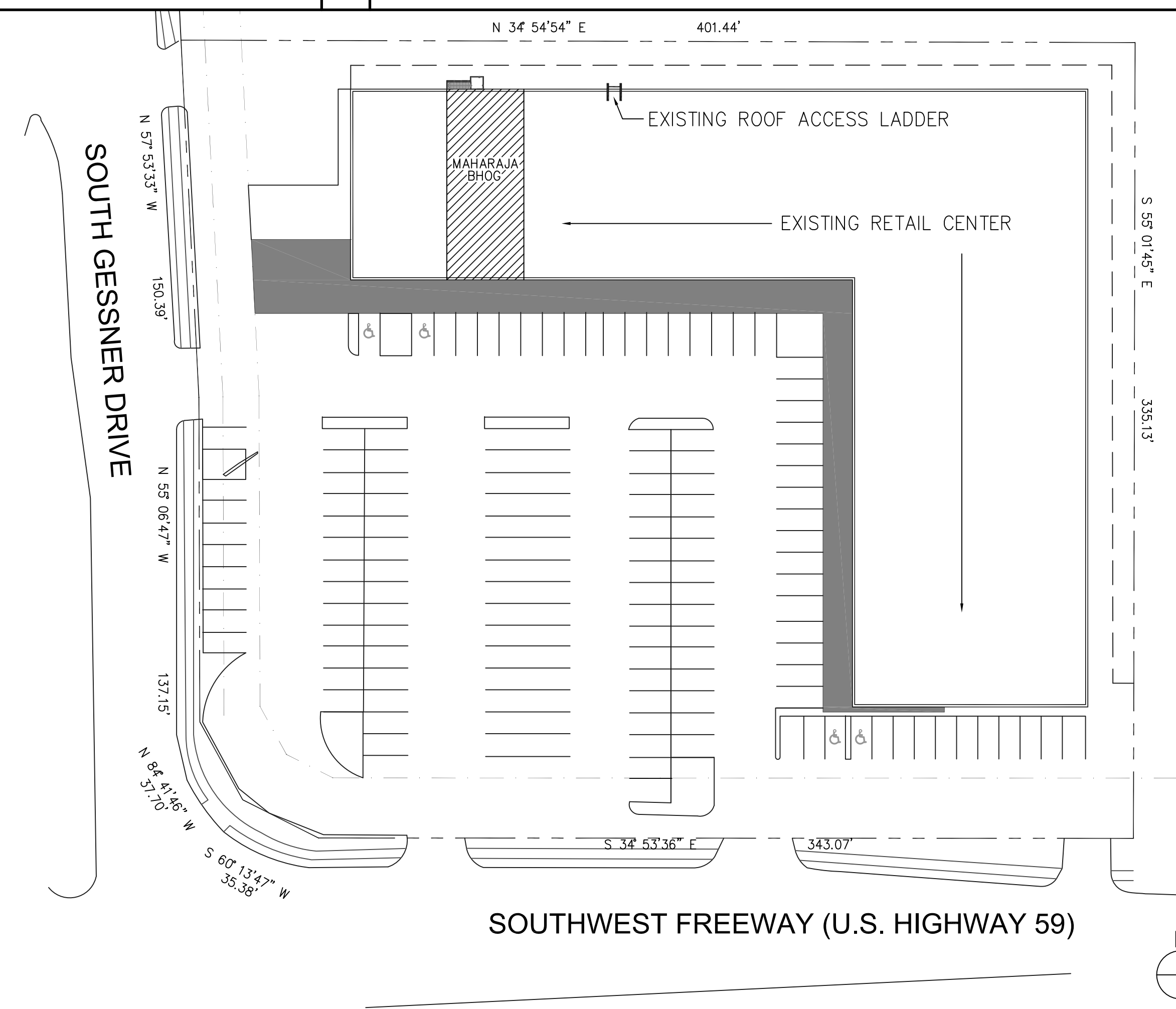
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BUILDING CODE DATA

5

DRAWING INDEX

2



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CONSULTANTS
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MEP Engineers

PROJECT NAME

Maharaja Bhog

PROJECT ADDRESS

8338 Southwest Freeway
Houston, Texas 77074

PROJECT NUMBER

11078

SHEET NAME

PROJECT DATA &
GENERAL NOTES

SHEET NUMBER

A0.0

GENERAL NOTES

11

SPECIFICATION

7

SITE PLAN

SCALE 1"=40'-0"

1

VICINITY MAP

1