

ABBREVIATIONS

AB	Anchored Bolt	LAM	Laminated
AFF	Above Finished Floor	LAV	Lavatory
AGG	Aggregate	LHS	Left Hand Side
AGL	Above Ground Level	LL	Live Load
ALT	Alternative	LWT	Lightweight
ALUM	Aluminum	MATL	Material
ANCH	Anchored	MAX	Maximum
ASPH	Asphalt	MECH	Mechanical
		MANUF	Manufacturer
		MDF	Medium Density Fiberboard
BD	Board		
BIT	Bitumen		
BLDG	Building	MH	Midrise
BLK	Block	MIN	Minimum
BLKG	Blocking	MISC	Miscellaneous
B1	Beam	MTL	Metel
B.M	Benchmark		
BOT	Bottom	N	North
BTWN	Between	NIC	Not In Contract
BUR	Build-up/Roofing	NOM	Nominal
		N15	Nat to Scale
CHAN	Channel	OC	On Center
C1	Cast Iron	OD	Overflow Drain/Outside Diameter
CLG	Ceiling	OPNG	Opening
CHU	Concrete Masonry Unit	OPP	Opposite
COL	Column	OSB	Oriented Strand Board
CONST	Construction	OVHD	Overhead
CONT	Continuous		
CONTR	Contractor	PC	Precast Concrete
CPT	Center		
CT	Centersink Ceramic Tile		
DBL	Double	PL	Pipe
DET	Detail	P-LAM	Plastic Laminare
DIF	Diffuser	PLYWD	Plywood
DIM	Dimension	PNL	Panel
DN	Down	PR	Pair
DP4	Damp-Proof Membrane	PSF	Pounds per Square Foot
DR	Door	PSI	Pounds per Square Inch
DS	Downdraft	PT	Past Tense/old
DWG	Drawing	QT	Quarry Tile
E	Each	R	Radius
EA	Electronic Drilling	RA	Return Air
EDF	Electronic Drilling Fountain	RD	Roof Drain
EFS	Exterior Insulation Finish System	RE	Refer
ELV	Elevation	REFL	Reflected
ELEC	Electrical	REIN	Reinforcing
EMER	Emergency	REOP	Required
ENL	Expanded Metal Lath	RET	Retaining
EQ	Equal	REV	Revision
EQUIP	Equipment	RF	Roof
EXP	Expansion	RHS	Right Hand Side
EXT	Exterior	R1	Room
		RO	Rough Opening
FAI	Fresh Air Inlet		
FD	Floor Drain	SB	Shank Block
FDN	Foundation	SC	Shield Case
FIN	Finish	SD	Shim Drain
FIN	Finish	SECT	Section
FLR	Floor	SHT	Shiller
FLUOR	Fluorescent	SHTG	Shimming
FO	Flush opening	SPECS	Specifications
FOS	Face of Finish	SS	Stainless Steel
FOS	Face of Stud	STD	Standard
FR	Frame	STL	Steel
FR	Fire Resistant	STRUC	Structural
		SUSP	Suspended
GA	Gauge	T & G	Tongue and Groove
GALV	Galvanized	TEL	Telephone
GC	General Contractor	TEMP	Tempered
GFPC	Glass Fiber Reinr Care	TL	Toloid Light
GL	Glass	TOC	Top of Concrete
GPHU	Gypsum	TOM	Top of Masonry
		TOS	Top of Slat
		TOV	Top of Wall
		TRANS	Transformer
		TYP	Typical
		U/S	Underside
		VT	Vinyl Tile
		VB	Vapor Barrier
		VERT	Vertical
		VP	Vents in Field
		W/C	Vinyl Wall Covering
ID	Inside Diameter		
INSUL	Insulation	W/	With
INT	Interior	W/O	Without
INV	Invert	WC	Water Closet
		WD	Wood
		WH	Water Heater
		WP	Waterproofing
		WWF	Welded Wire Fabric
JAN	Janitor		
JST	Joint		
JNT	Joint		

SYMBOLS

	NEW SPOT ELEVATION
	EXISTING ELEVATION
	DRAWING 3, SHEET 14
	ELEVATION INDICATOR
	DETAIL SECTION
	DETAIL
	ROOM NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	ANGLE
	PROPERTY LINE
	CENTER LINE
	SUPPLY AIR
	RETURN AIR
	FIRE SPRINKLER
	RECESSED LIGHT
	TRACK LIGHT
	EMERGENCY LIGHT
	PENDANT LIGHT
	EXIT LIGHT
	WALL MOUNTED LIGHT
	FLUORESCENT LIGHT
	SMOKE DETECTOR
	FIRE ALARM ANNUNCIATOR
	FIRE ALARM PULL STATION
	SPEAKER
	TELEPHONE OUTLET
	THERMOSTAT
	JUNCTION BOX
	DUPLEX ELECTRICAL OUTLET
	DUPLEX FLOOR OUTLET
	SINGLE POLE SWITCH
	CEILING FAN SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	DATA TERMINAL
	CABLE TV OUTLET
	VENT FAN

SHEET INDEX

A0.0	COVER SHEET
A0.1	SITE LANDSCAPING PLAN
A0.2	NOT USED
A0.3	ADA NOTES
A0.4	ADA NOTES
A0.4	ADA NOTES

ARCHITECTURAL

D1.0	DEMOLITION PLAN FIRST FLOOR
D1.1	DEMOLITION PLAN SECOND FLOOR
A1.0	FIRST FLOOR PLAN
A1.1	SECOND FLOOR PLAN
A1.2	PRIVATE APARTMENT PLANS
A1.3	MECH. ATTIC REFLECTED CEILING PLAN
A1.4	SECOND FLOOR REFLECTED CEILING PLAN
A1.5	ROOF PLAN
A1.6	ENLARGED PLANS - STAIR DETAILS
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	INTERIOR ELEVATIONS
A2.3	INTERIOR ELEVATIONS
A2.4	INTERIOR SECTIONS & DETAILS
A2.5	INTERIOR SECTIONS & DETAILS
A3.0	SECTIONS & DETAILS
A3.1	SECTIONS & DETAILS
A3.2	SECTIONS & DETAILS
A3.3	SECTIONS & DETAILS
A4.0	DOOR & HARDWARE SCHEDULE & DETAILS
A4.2	WINDOW SCHEDULE & NOTES
A4.3	FINISH SCHEDULE & NOTES
A4.4	FINISH SCHEDULE & NOTES

STRUCTURAL

S2.1	1st FLOOR CEILING FRAMING PLAN
S2.2	2nd FLOOR CEILING FRAMING PLAN
S2.3	FRAMING NOTES & DETAILS
S2.4	FOUNDATION PLAN
S2.5	2nd FLOOR FRAMING PLAN
S2.6	2nd FLOOR CEILING FRAMING PLAN
S2.7	STAIR FRAMING PLAN & DETAILS
S2.8	ELEVATOR FRAMING PLAN & DETAILS
S2.9	GENERAL NOTES & DETAILS

MEP

M1.1	GROUND FLOOR MECHANICAL PLAN
M1.2	2nd FLOOR MECHANICAL PLAN
M1.3	3rd - 5th FLOOR MECHANICAL PLAN
M1.4	ROOF MECHANICAL PLAN
M3.1	MECHANICAL DETAILS
E1.1	GROUND FLOOR POWER PLAN
E1.2	2nd FLOOR POWER PLAN
E1.3	3rd - 5th FLOOR POWER PLAN
E1.4	ROOF POWER PLAN
E2.1	GROUND FLOOR LIGHTING PLAN
E2.2	2nd FLOOR LIGHTING PLAN
E2.3	3rd - 5th LIGHTING PLAN
P1.1	GROUND FLOOR PLUMBING PLAN
P1.2	2nd FLOOR PLUMBING PLAN
P1.3	3rd - 5th PLUMBING PLAN

BUILDING CODE ANALYSIS

PROJECT DESCRIPTION: OFFICE SPACE (INTERIOR RENOVATION)
 INTERNATIONAL BUILDING CODE (2006) W/ CITY AMENDMENTS
 CONSTRUCTION TYPE: TYPE V-A, FULLY SPRINKLERED TWO-STORY BUILDING W/ THREE FLOOR ART/STUDIO SPACE
 OCCUPANCY TYPE:

1st FLOOR: F-1 (EXISTING BAKERY & WOODWORKING SHOP - NOT INCLUDED IN SCOPE OF WORK)
 M - (RETAIL SPACE)
 A-2 (RESTAURANT) - 1 HOUR FIRE SEPARATION BETWEEN A-2 & B/M/F-1 TO BE INSTALLED

2nd FLOOR: BUSINESS GROUP B

BUILDING AREA CALCULATIONS:

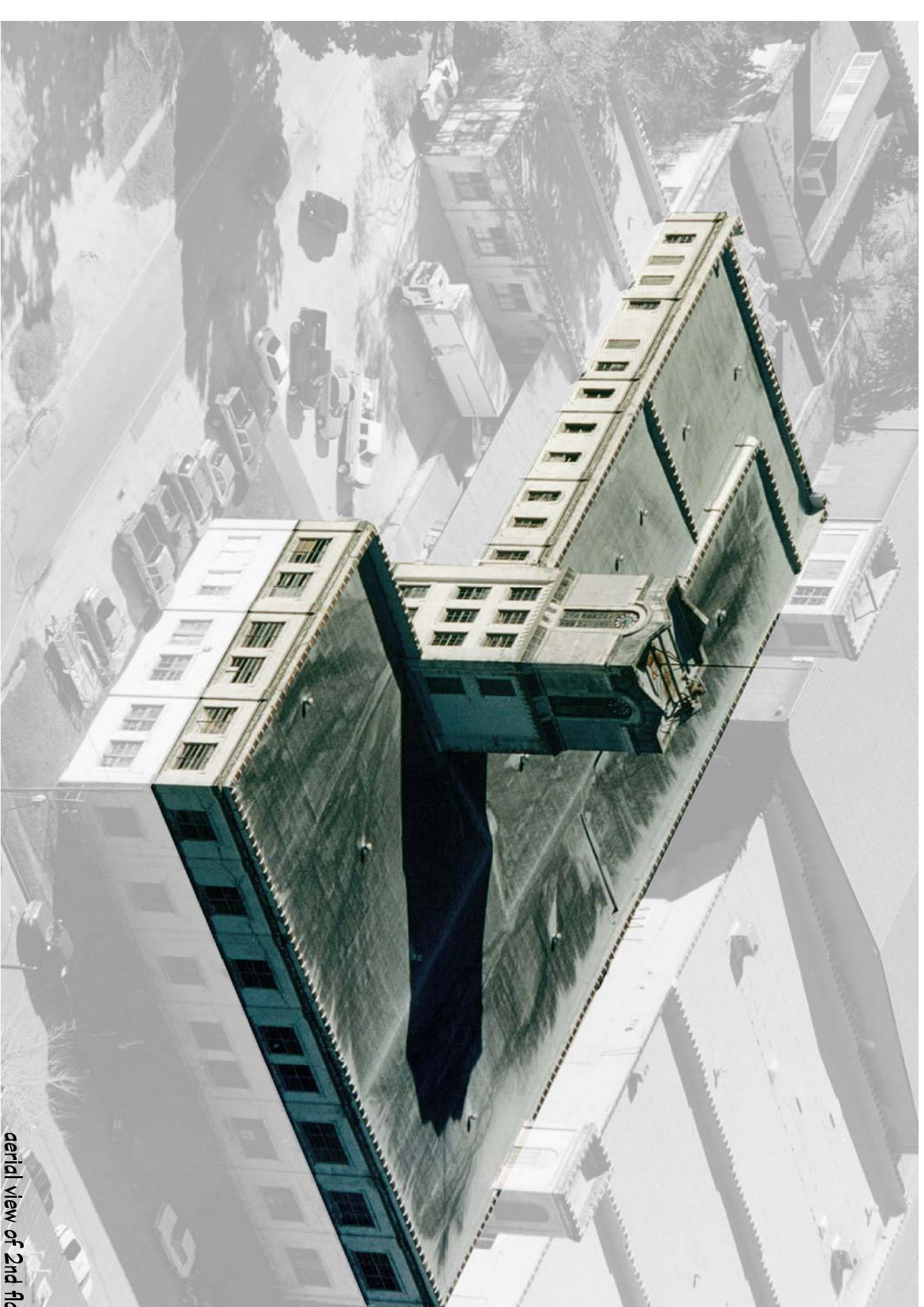
OCCUPANCY CALCULATIONS - 1st FLOOR				OCCUPANCY CALCULATIONS - 2nd FLOOR			
FUNCTION OF SPACE	AREA	OCCUPANCY FACTOR	OCCUPANT LOAD	FUNCTION OF SPACE	AREA	OCCUPANCY FACTOR	OCCUPANT LOAD
REGULATION	1,814	•	•	REGULATION	1,789	•	•
BUSINESS AREA	345	100	3	BUSINESS AREA	15,675	100	157
RESTROOMS	143	•	•	RESIDENTIAL (APARTMENT)	1,450	•	•
ACCESSORY STORAGE	23	1300	1	RESTROOMS	402	•	•
EQUIPMENT STORAGE				ACCESSORY STORAGE	345	1300	3
TOTAL:	2,125		4	TOTAL:	18,870		160

EGRESS WIDTH CALCULATION:

164 (OCCUPANCY) x 0.2 = 32.8
 EGRESS PROVIDED (144) EXCEEDS REQUIRED WIDTH

OCCUPANCY CALCULATION NOTE: ACTUAL OCCUPIED AREA AS DENIED BY SECTION 1002 - INTERNATIONAL BUSINESS CODE (2009)

NOTE 1: PORTABLE FIRE EXTINGUISHERS ARE PROVIDED AS SHOWN ON ARCHITECTURAL PLAN
 NOTE 2: A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE W/ SECTION 907.5 OF THE INTERNATIONAL BUILDING CODE 2009 TO BE INSTALLED.



aerial view of 2nd floor

Clock Tower Building

Commercial Renovation

Nonya Grenader FAIA
 ARCHITECT

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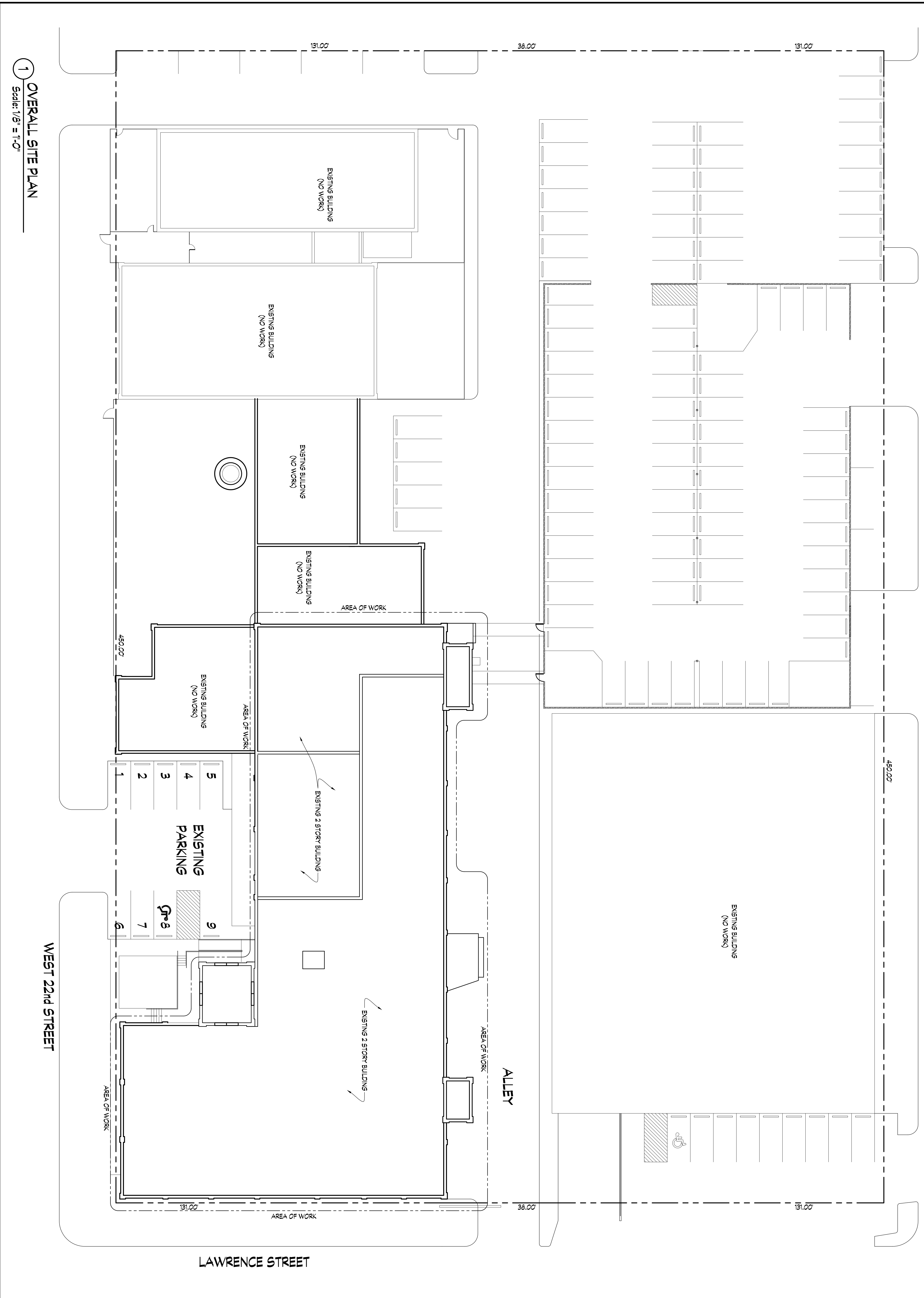
Architect's Project No.: 130104

Permit Set

Cover Sheet
 SCALE: 1/4" = 1'-0"

Date: 10/28/13

A0.0



1 OVERALL SITE PLAN
Scale: 1/8" = 1'-0"

WEST 22nd STREET

LAWRENCE STREET

ALLEY

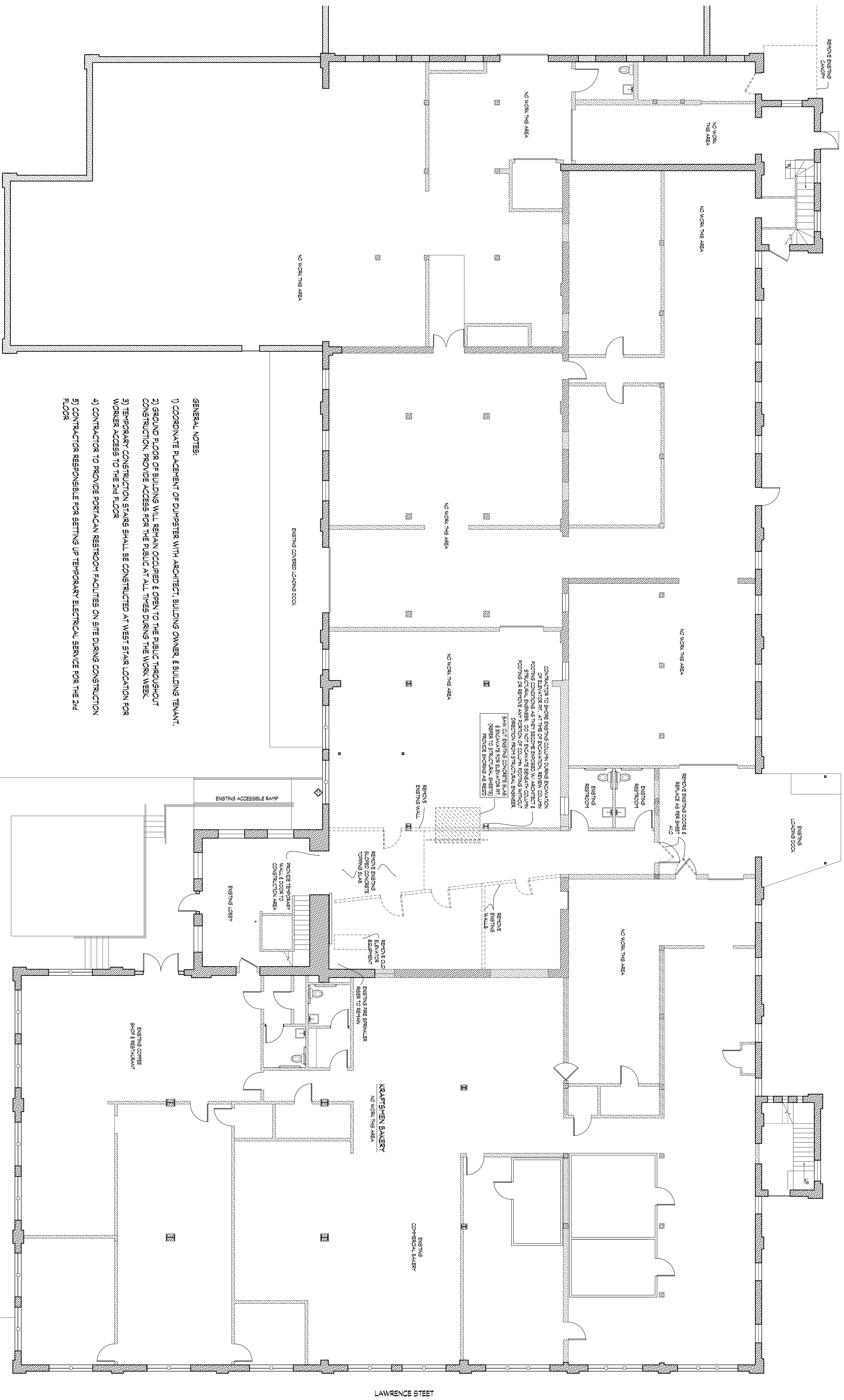
Permit Set
Site Plan
SCALE:
Date: 10/28/13

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ARCHITECT

A0.1



- GENERAL NOTES:**
- 1) COORDINATE PLACEMENT OF DUMPSTER WITH ARCHITECT, BUILDING OWNER, & BUILDING TENANT.
 - 2) GROUND FLOOR OF BUILDING WILL REMAIN OCCUPIED & OPEN TO THE PUBLIC THROUGHOUT CONSTRUCTION. PROVIDE ACCESS FOR THE PUBLIC AT ALL TIMES DURING THE WORK WEEK.
 - 3) TEMPORARY CONSTRUCTION STAIRS SHALL BE CONSTRUCTED AT WEST STAIR LOCATION FOR WORKER ACCESS TO THE 2nd FLOOR
 - 4) CONTRACTOR TO PROVIDE PORTACAN RESTROOM FACILITIES ON SITE DURING CONSTRUCTION
 - 5) CONTRACTOR RESPONSIBLE FOR SETTING UP TEMPORARY ELECTRICAL SERVICE FOR THE 2nd FLOOR

1 EXISTING GROUND FLOOR DEMOLITION PLAN
 Scale: 1/8" = 1'-0"

WEST 22nd STREET

LAWRENCE STREET

ALLEY

D1.0

Demolition Plan 1st Flr
 SCALE: 1/8" = 1'-0"
 DATE: 10/28/13

Permit Set

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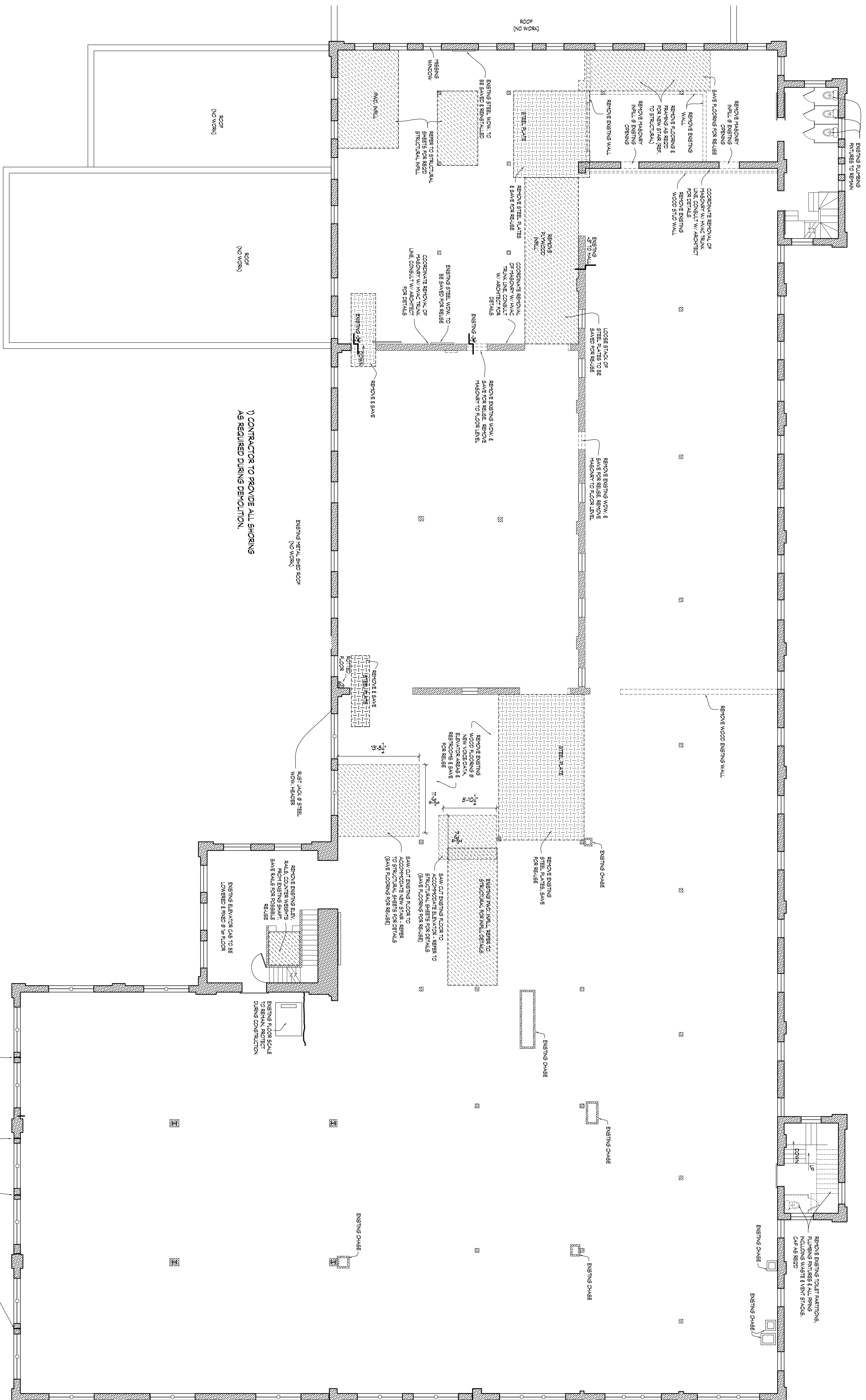


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1 EXISTING SECOND FLOOR DEMOLITION PLAN
 Scale: 1/8" = 1'-0"

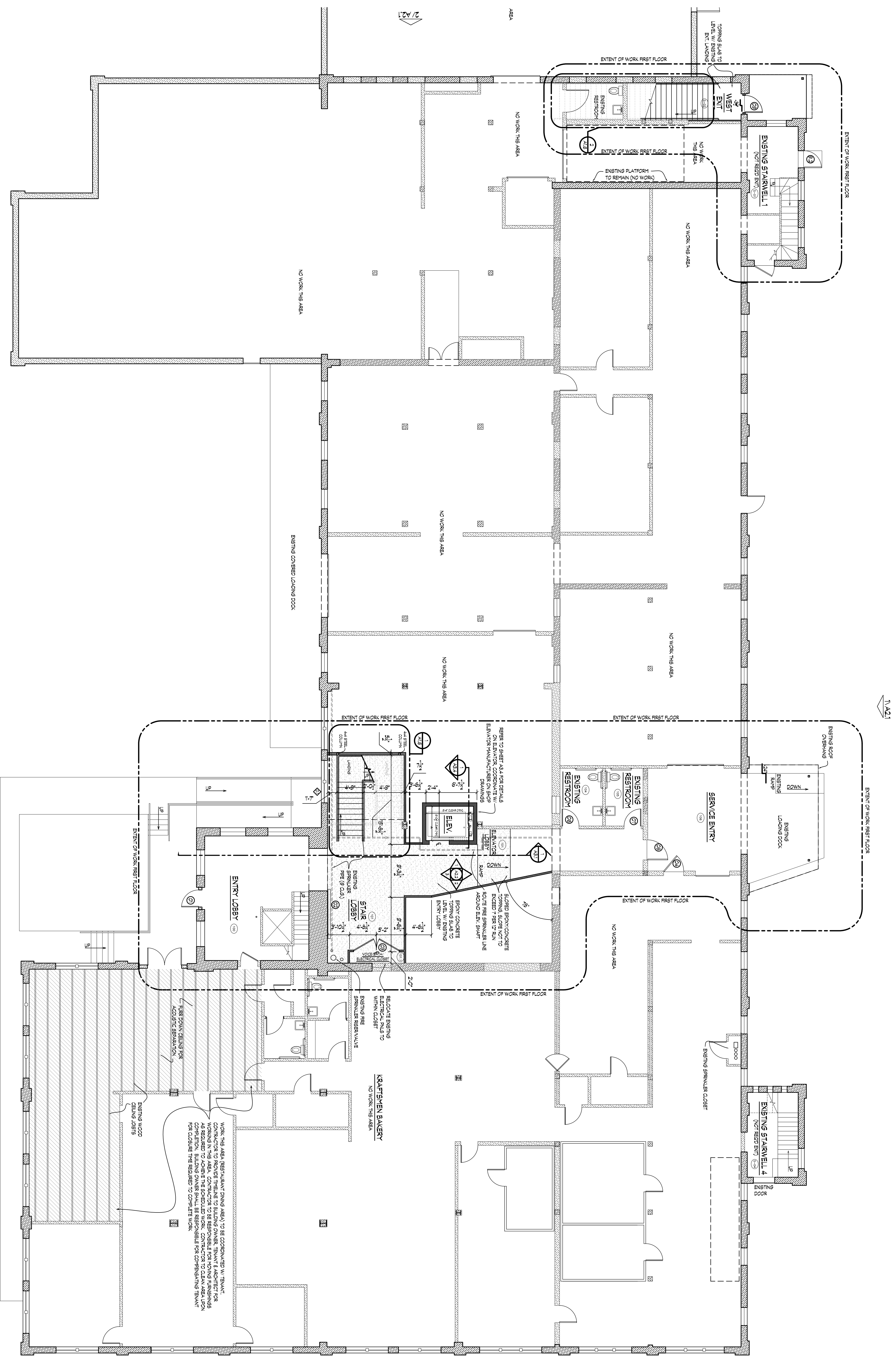
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Permit Set
 Demolition Plan 2nd Flr
 SCALE: 1/8" = 1'-0"
 Date: 01/28/13

D1.1



1 FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



WORK THIS AREA (RESTAURANT DINING AREA) TO BE COMPLETED BY TENANT. CONTRACTOR TO PROVIDE TRAILING TO BUILDING OWNER TENANT'S ACCESS FOR AS REQUIRED TO ACQUIRE THE SCHEDULED WORK. CONTRACTOR TO CLEAN AREA UPON COMPLETION. BUILDING OWNER SHALL BE RESPONSIBLE FOR COORDINATING TENANT FOR CLOSURE THE REQUIRED TO COMPLETE WORK.

KRATZEN BAKERY
NO WORK THIS AREA

2/A2.0

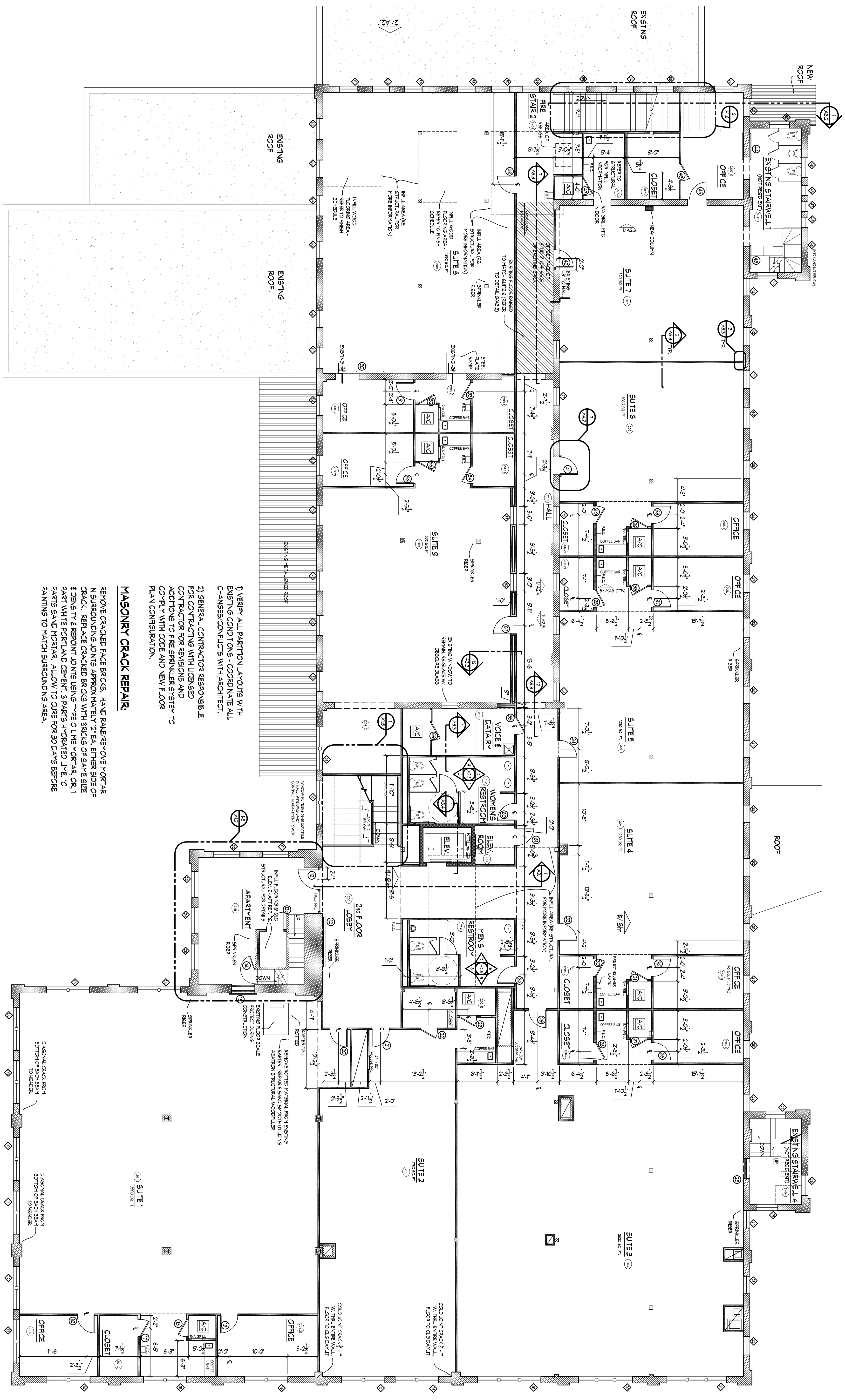
A1.0

Permit Set
Date: 10/28/13
First Floor Plan
Scale: 1/8" = 1'-0"

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- 1) VERIFY ALL PARTITION LAYOUTS WITH EXISTING CONDITIONS - COORDINATE ALL CHANGES/CONFLICTS WITH ARCHITECT.
- 2) GENERAL CONTRACTOR RESPONSIBLE FOR CONTRACTING WITH LICENSED CONTRACTOR FOR REVISIONS AND ADDITIONS TO FIRE SPRINKLER SYSTEM TO COMPLY WITH CODE AND NEW FLOOR PLAN CONFIGURATION.

MASONRY CRACK REPAIR:

REMOVE CRACKED FACE BRICKS. HAND RAKE/REMOVE MORTAR IN SURROUNDING JOINTS APPROXIMATELY 1/2" EA. EITHER SIDE OF CRACK. REPLACE CRACKED BRICKS WITH BRICKS OF SAME SIZE & DENIGTY & REPOINT JOINTS USING TYPE O LIME MORTAR, OR 1 PART WHITE PORTLAND CEMENT 3 PARTS HYDRATED LIME 10 PARTS SAND MORTAR. ALLOW TO CURE FOR 30 DAYS BEFORE PAINTING TO MATCH SURROUNDING AREA.

1 SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"



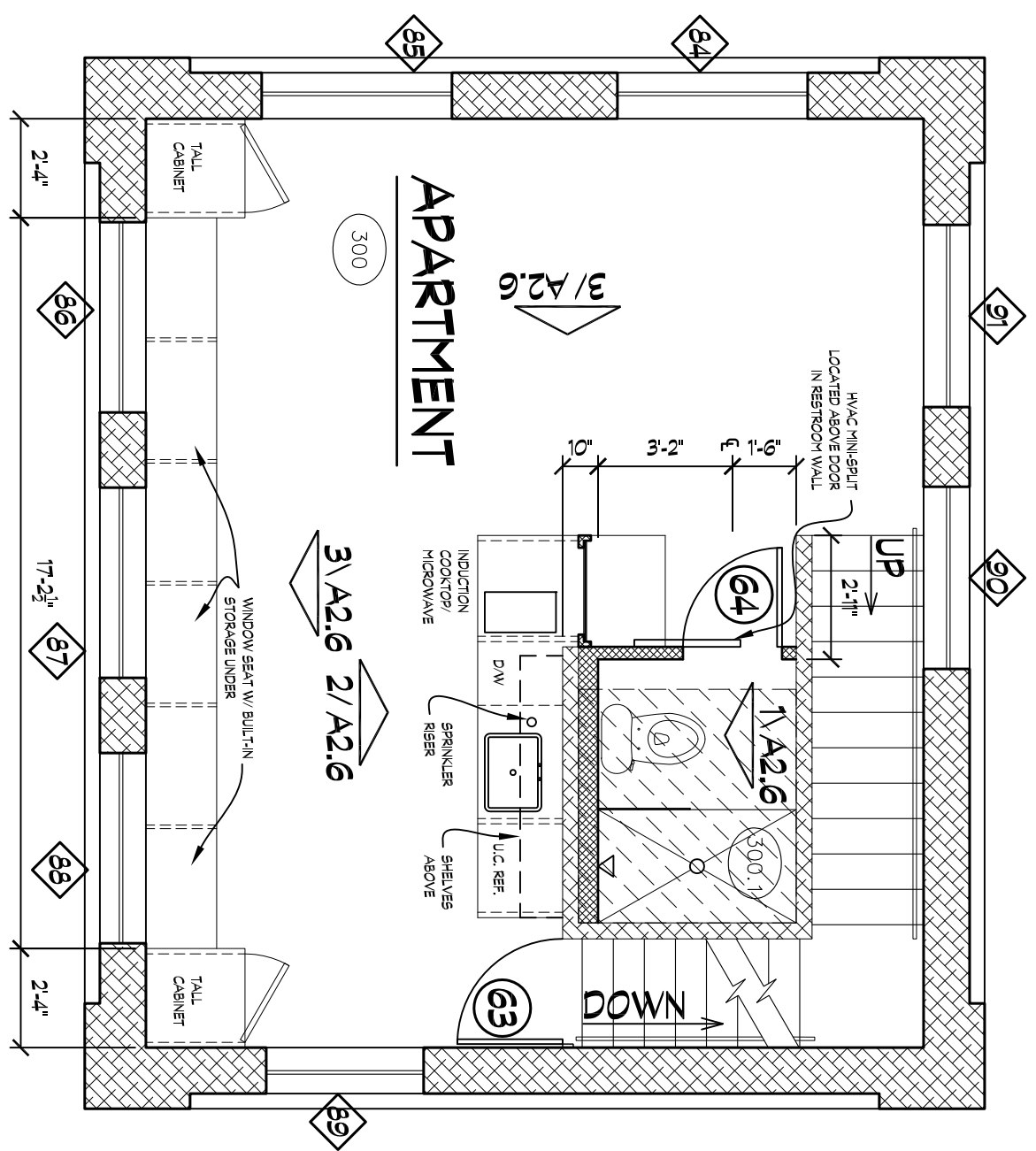
Permit Set
 Second Floor Plan
 SCALE: 1/8" = 1'-0"
 DATE: 10/28/13

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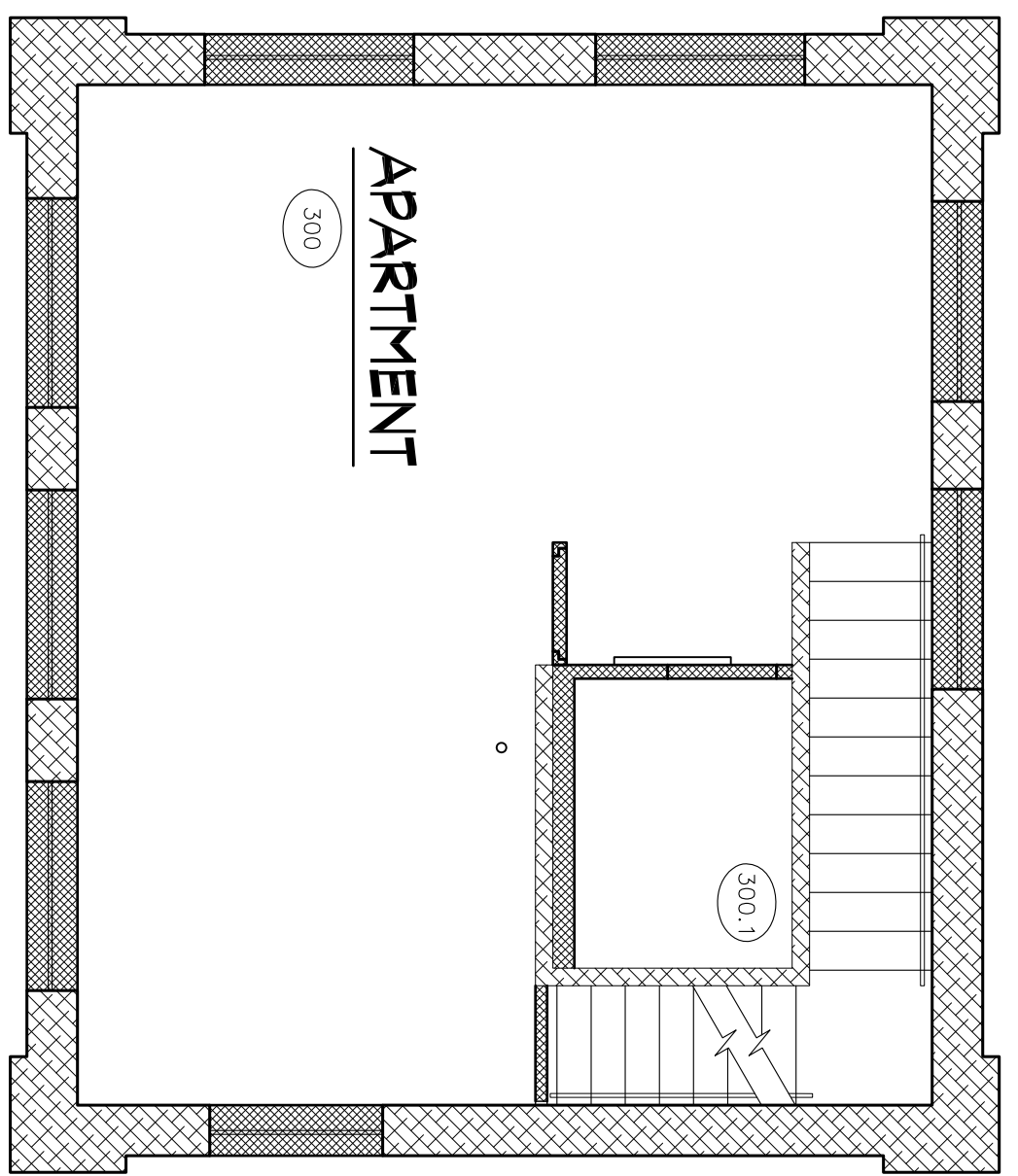
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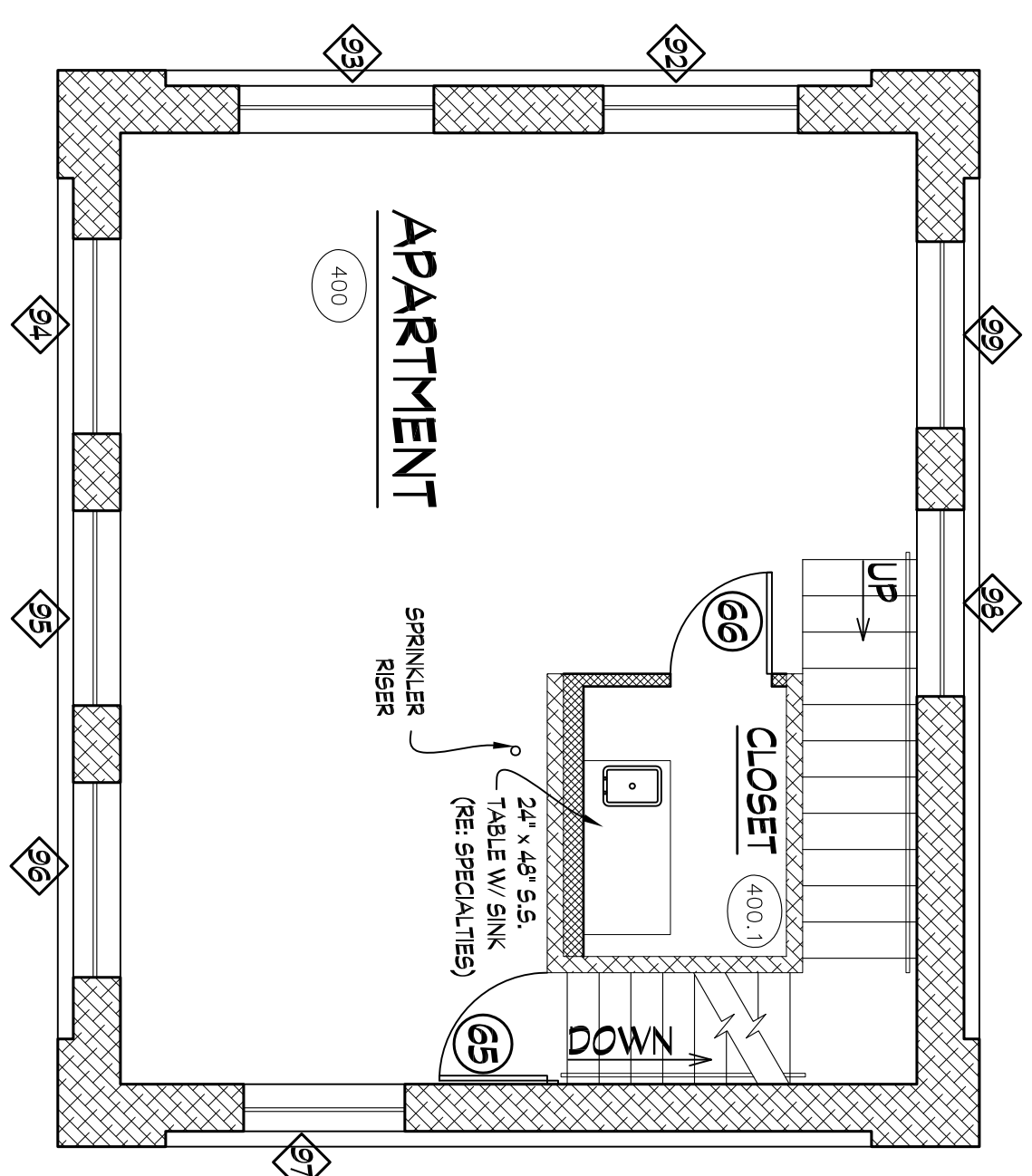
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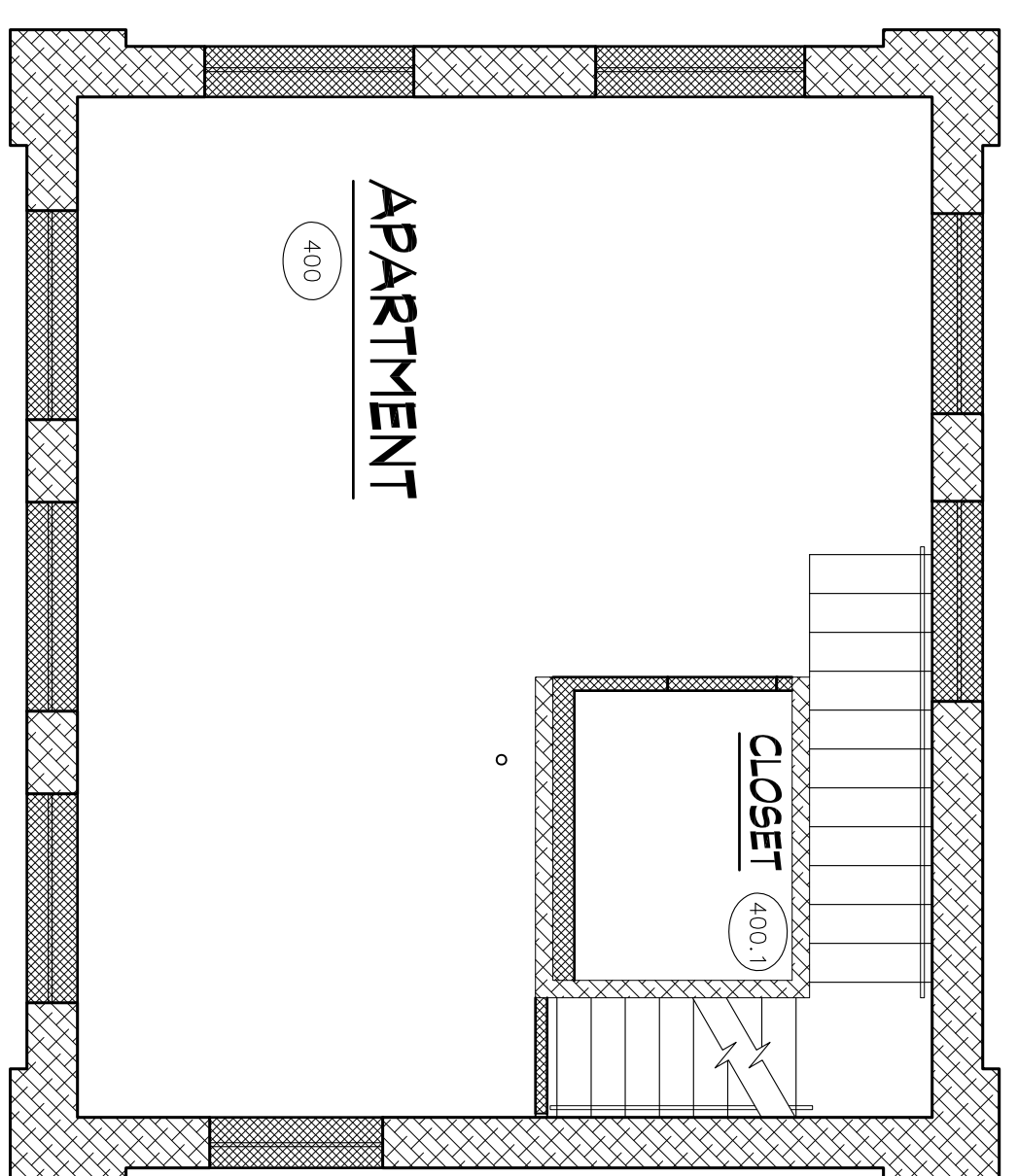
1 PRIVATE APARTMENT 3RD FLOOR
Scale: 1/4" = 1'-0"



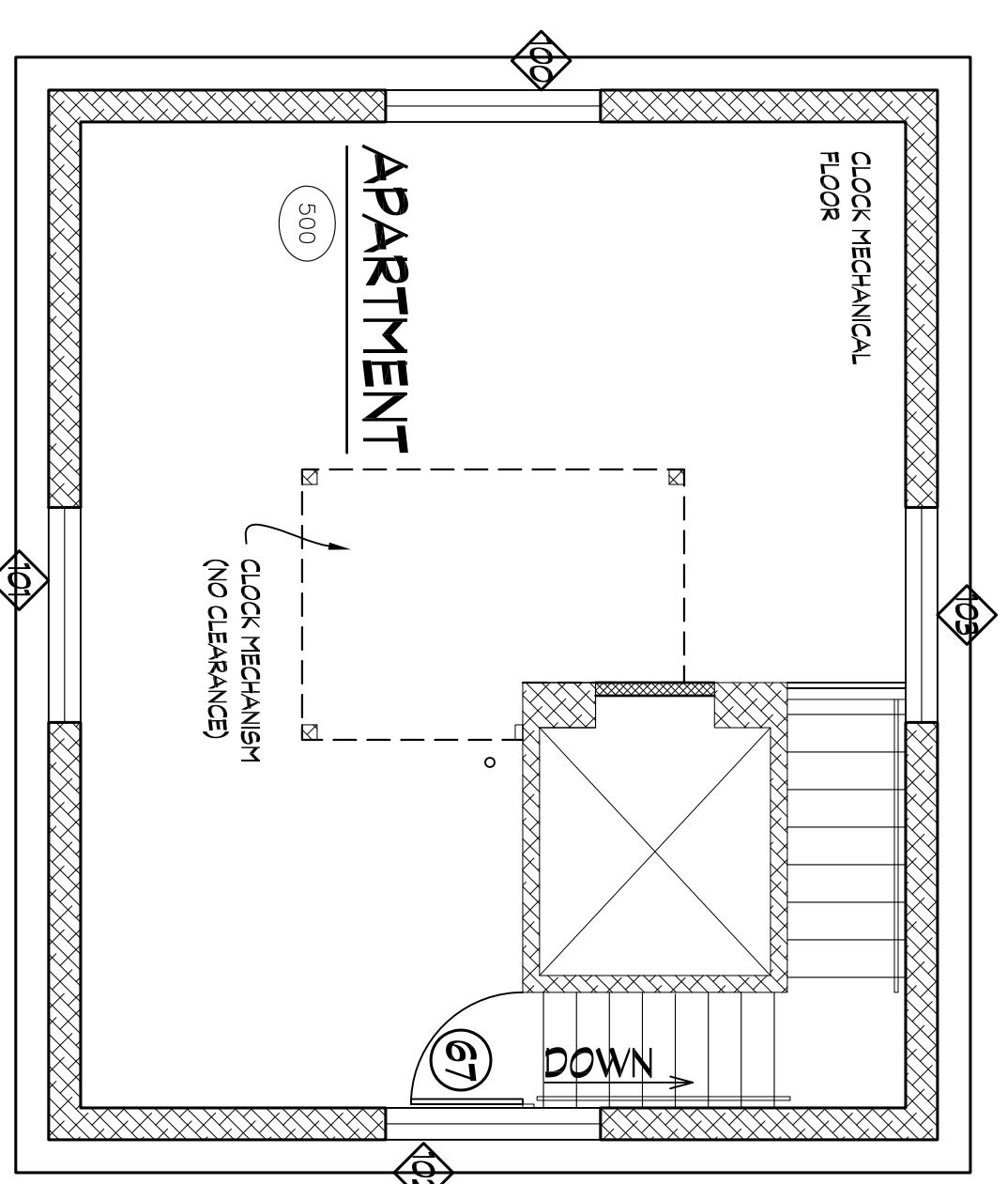
4 APARTMENT 3RD FLOOR RFC
Scale: 1/4" = 1'-0"



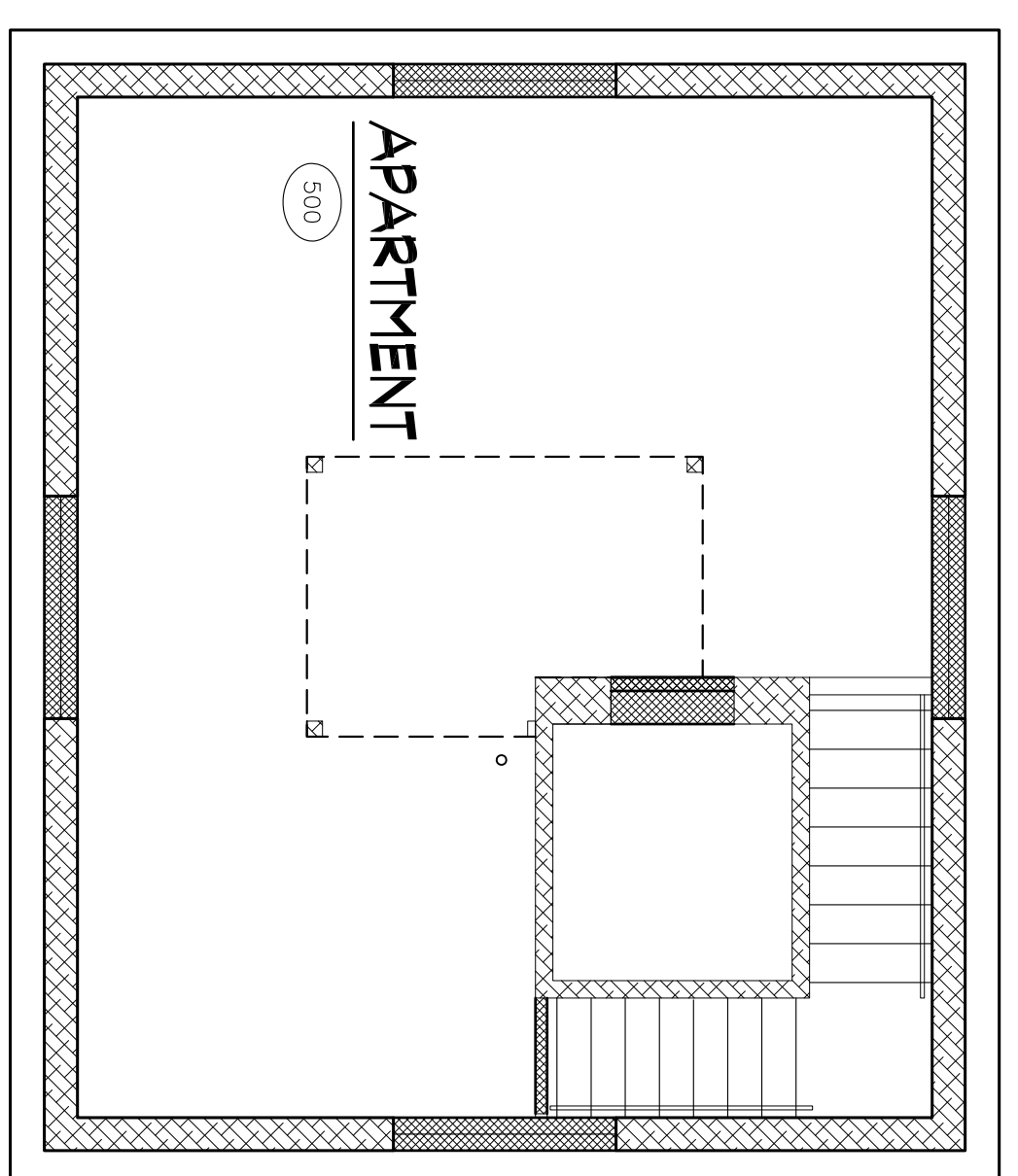
2 PRIVATE APARTMENT 4TH FLOOR
Scale: 1/4" = 1'-0"



5 APARTMENT 4TH FLOOR RFC
Scale: 1/4" = 1'-0"



3 PRIVATE APARTMENT 5TH FLOOR
Scale: 1/4" = 1'-0"



6 APARTMENT 5TH FLOOR RFC
Scale: 1/4" = 1'-0"

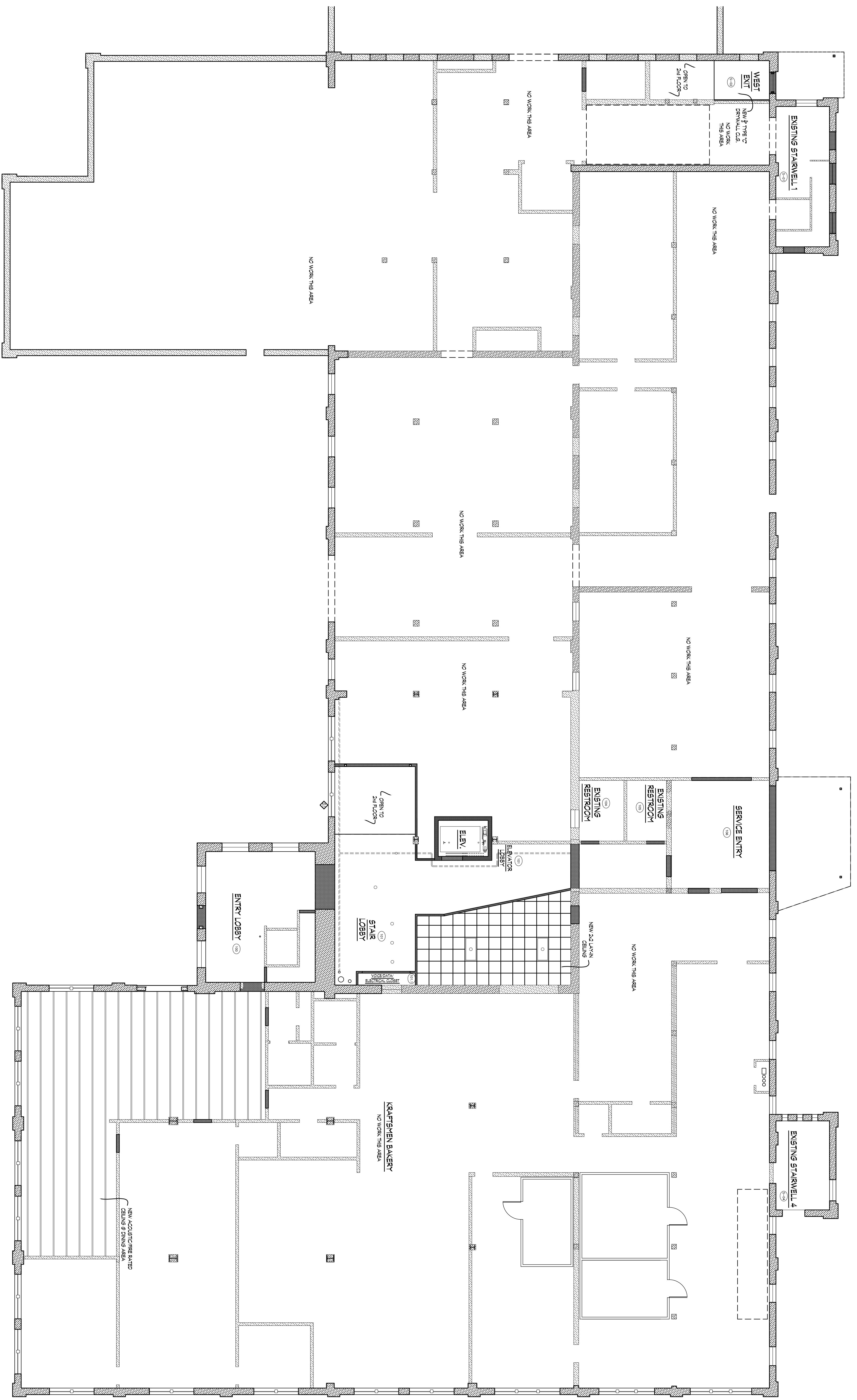
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Permit Set
Apartment Plans
SCALE: See Drawing
Date: 10/28/13

A1.2



1 1st FLOOR REFLECTED CEILING PLAN
Scale: 1/8" = 1'-0"

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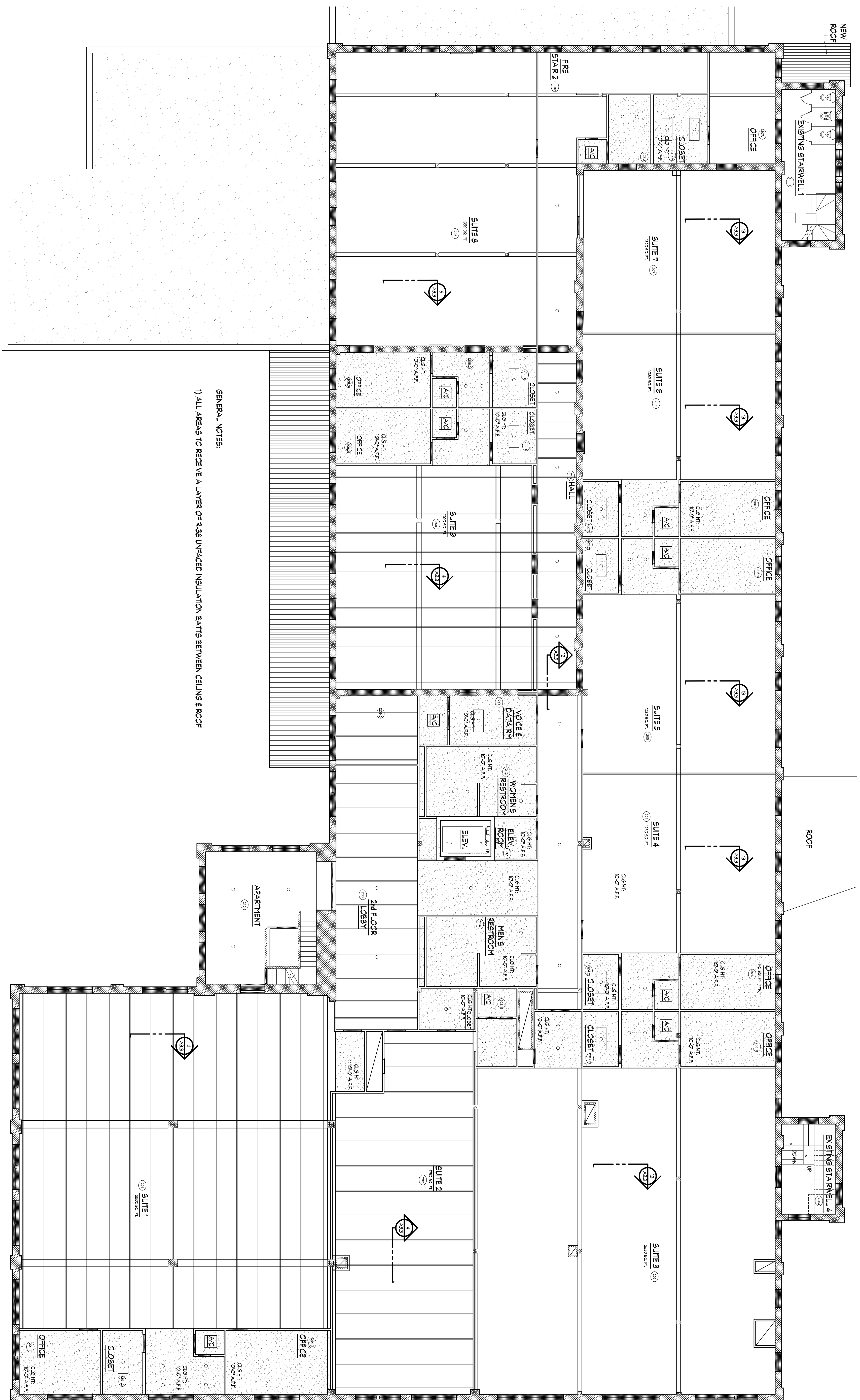
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Permit Set

1st Floor RRC
SCALE: 1/8" = 1'-0"

DATE: 10/28/13

A1.3



GENERAL NOTES:
 1) ALL AREAS TO RECEIVE A LAYER OF R-38 UNFACED INSULATION BATTS BETWEEN CEILING & ROOF

1 2nd FLOOR REFLECTED CEILING PLAN
 Scale: 1/8" = 1'-0"

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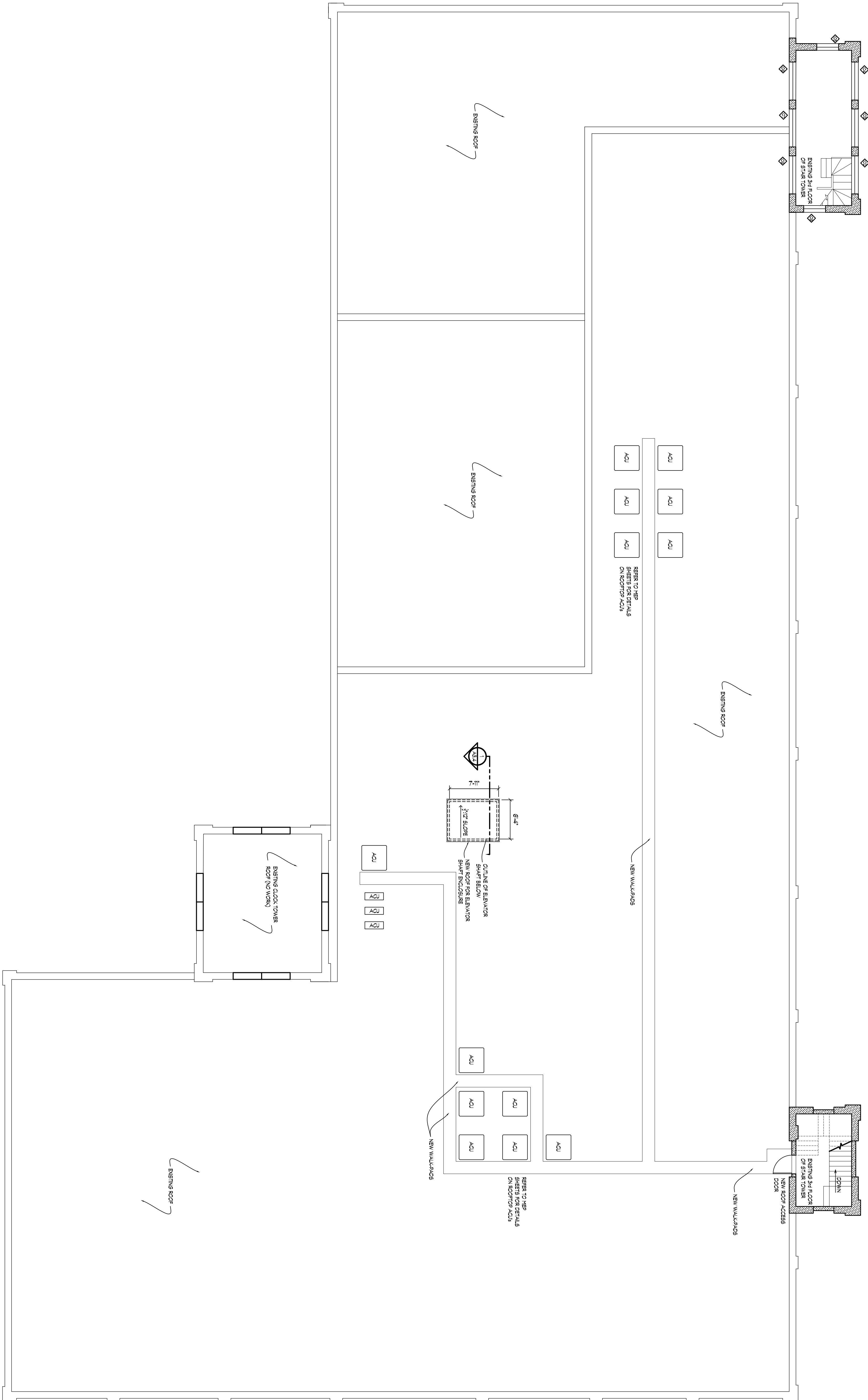
Permit Set

2nd Floor RFC
 SCALE: 1/8" = 1'-0"

DATE: 10/28/13

A1.4

1 ROOF PLAN
Scale: 1/8" = 1'-0"



A1.5

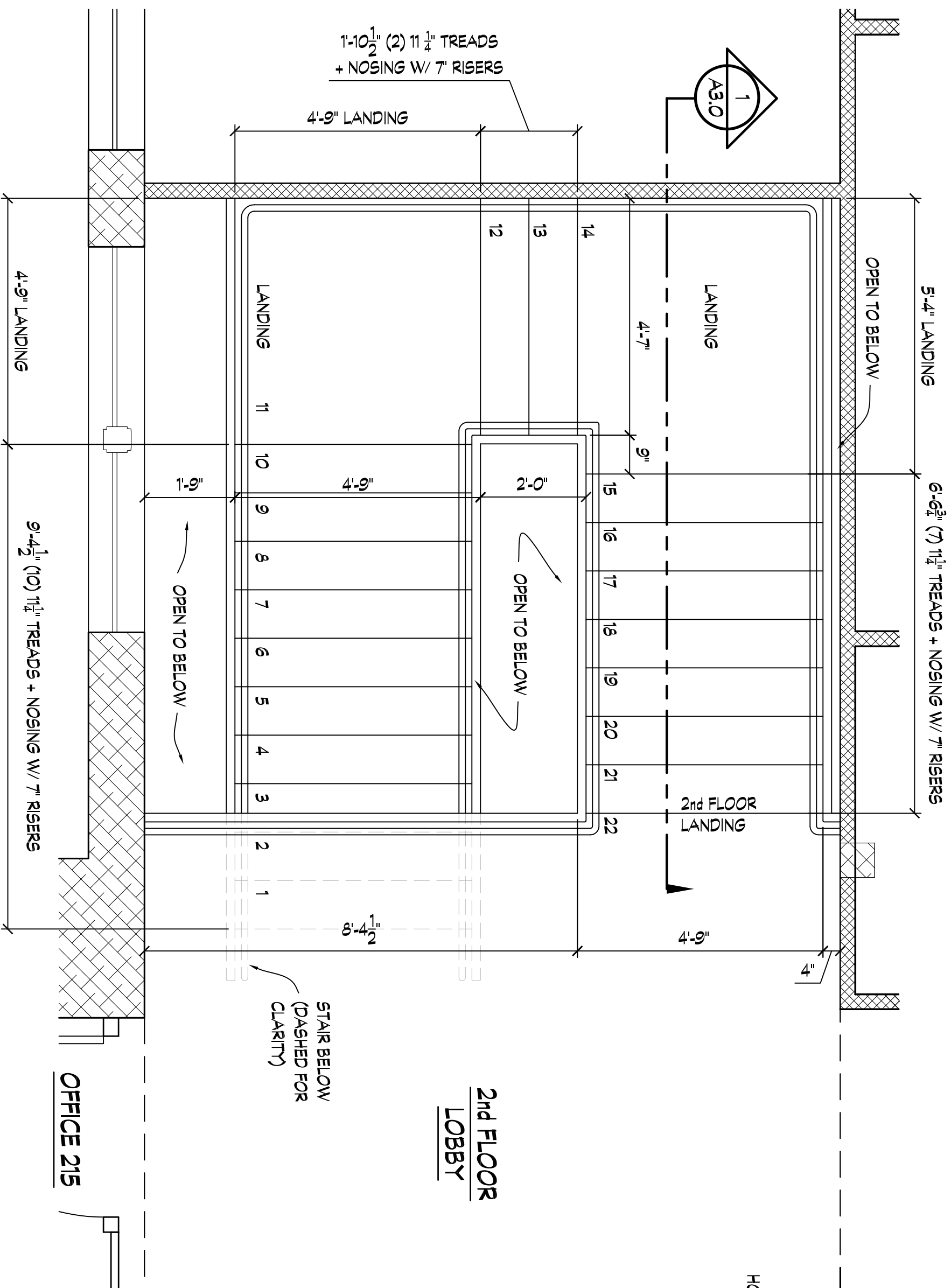
Roof Plan
SCALE: 1/8" = 1'-0"
Date: 10/28/13

Permit Set

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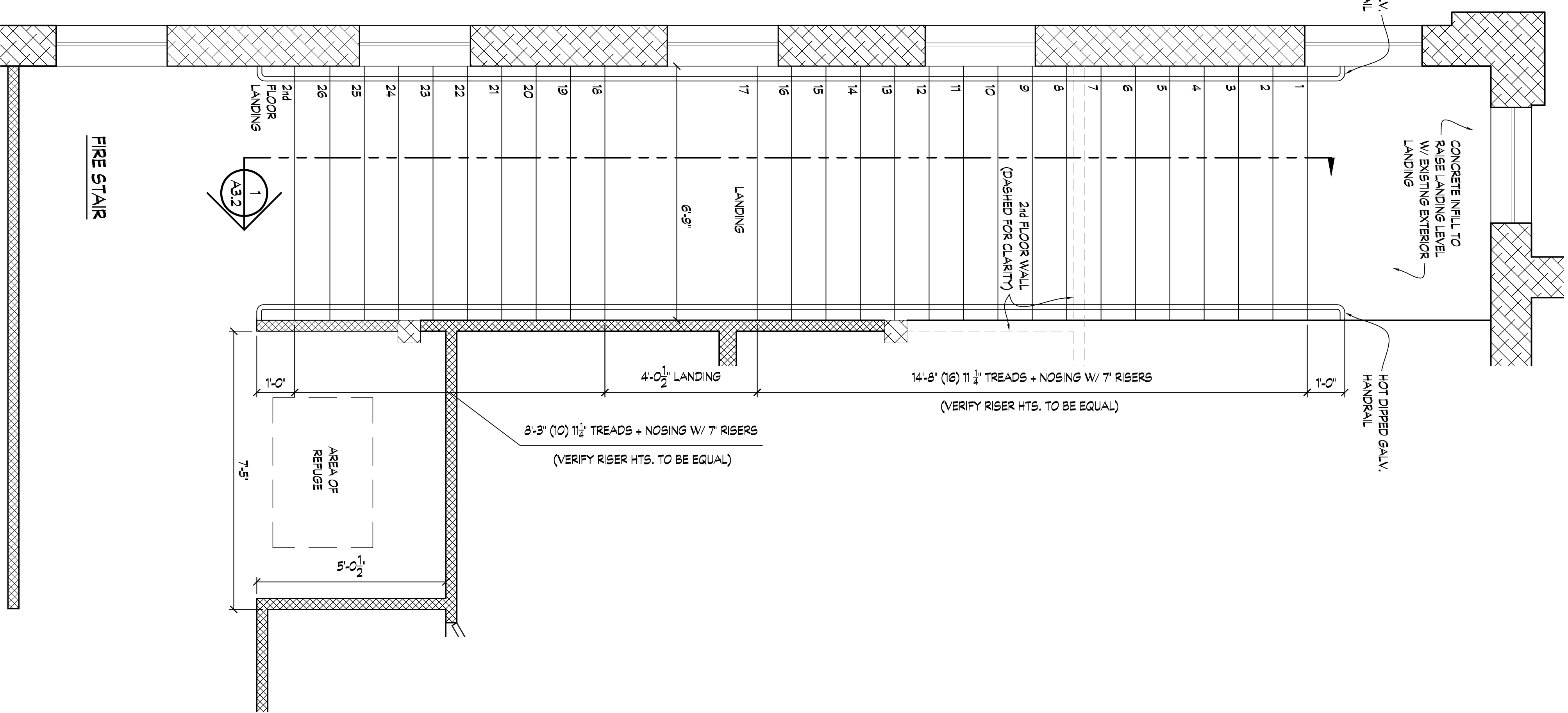
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1 MAIN STAIR ENLARGED PLAN
Scale: 1/2" = 1'-0"

PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OF HOT DIPPED GALVANIZED STAIR & RAILINGS.



2 WEST STAIR ENLARGED PLAN
Scale: 1/2" = 1'-0"

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Clock Tower Building
Commercial Renovation

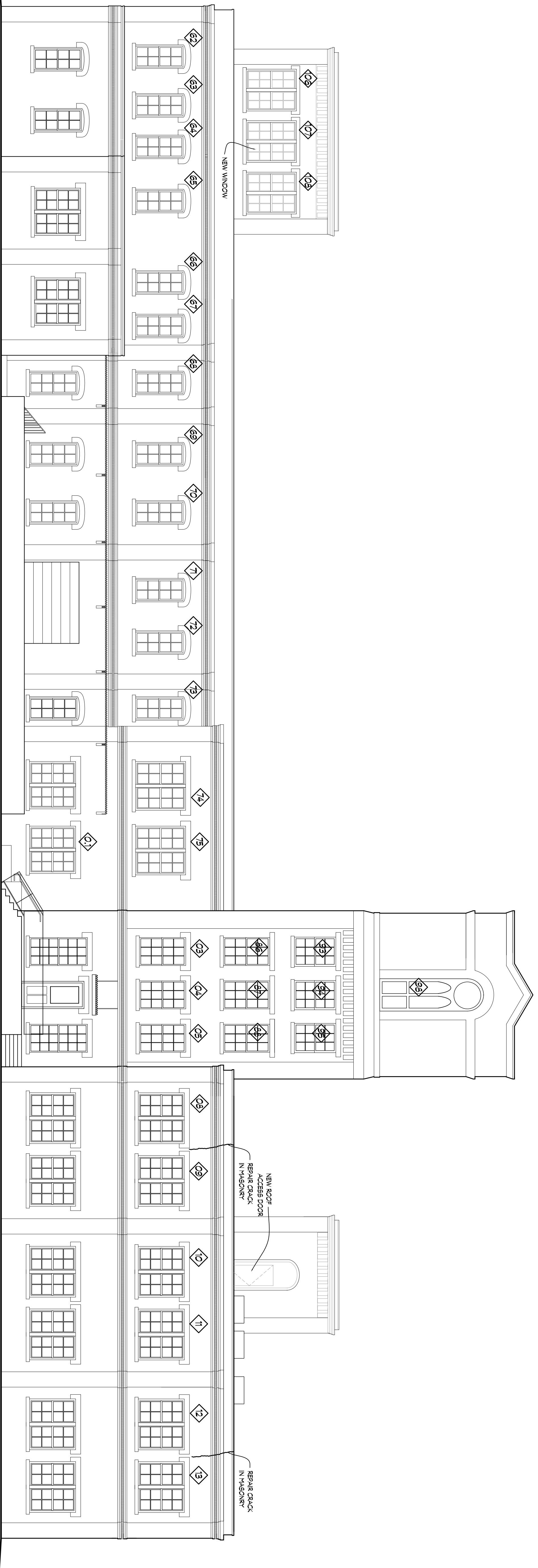
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Permit Set

Enlarged Plans
SCALE: 1/2" = 1'-0"

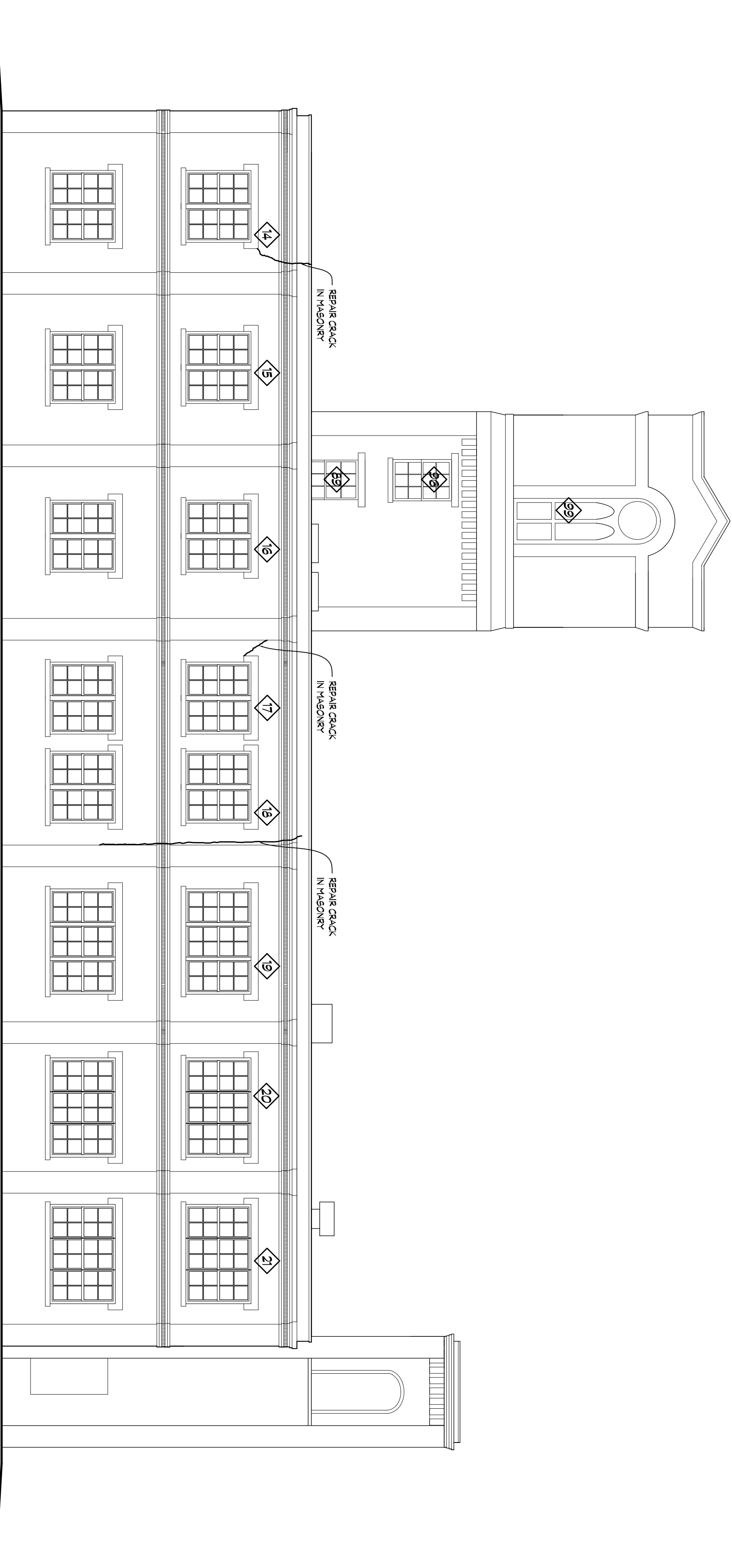
Date: 10/28/13

A1.6



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

MASONRY CRACK REPAIR:
 REMOVE CRACKED FACE BRICKS. HAND RAKE/REMOVE MORTAR IN SURROUNDING JOINTS APPROXIMATELY 1/2" EA. EITHER SIDE OF CRACK. REPLACE CRACKED BRICKS WITH BRICKS OF SAME SIZE & DENSITY & REPOINT JOINTS USING TYPE O LIME MORTAR OR 1 PART WHITE PORTLAND CEMENT, 3 PARTS HYDRATED LIME, 10 PARTS SAND MORTAR. ALLOW TO CURE FOR 30 DAYS BEFORE PAINTING TO MATCH SURROUNDING AREA.



2 EAST ELEVATION
Scale: 1/8" = 1'-0"

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 Architecture, Renovation/Restoration, and Space Planning

Clock Tower Building
Commercial Renovation

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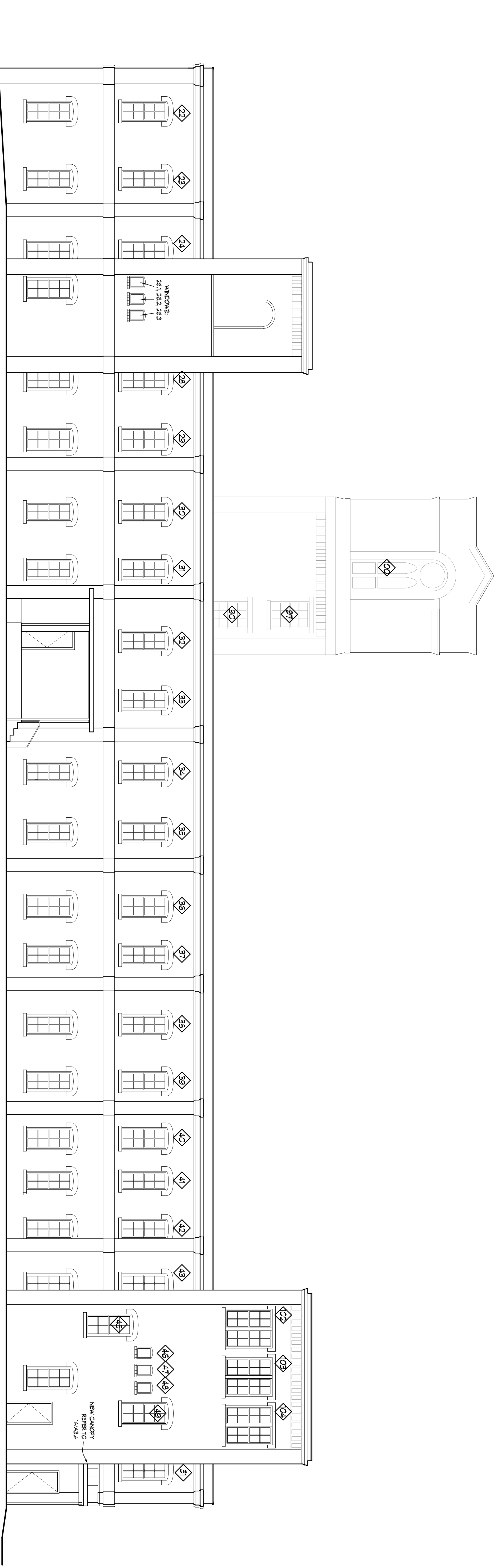
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Permit Set

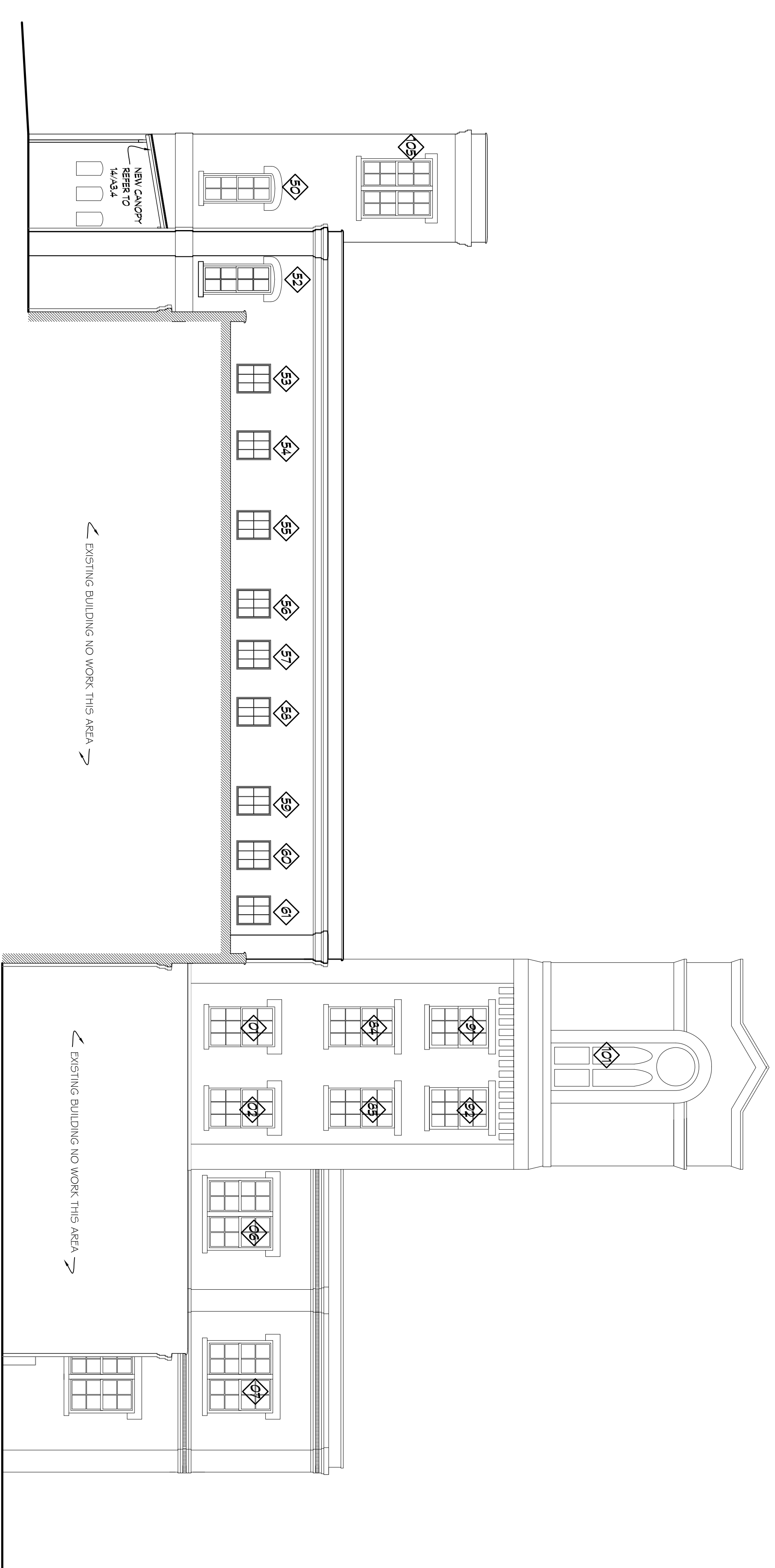
Exterior Elevations
SCALE: 1/8"

▲
▲
▲
Date: 10/28/13

A2.0



1 NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 WEST ELEVATION
Scale: 1/8" = 1'-0"

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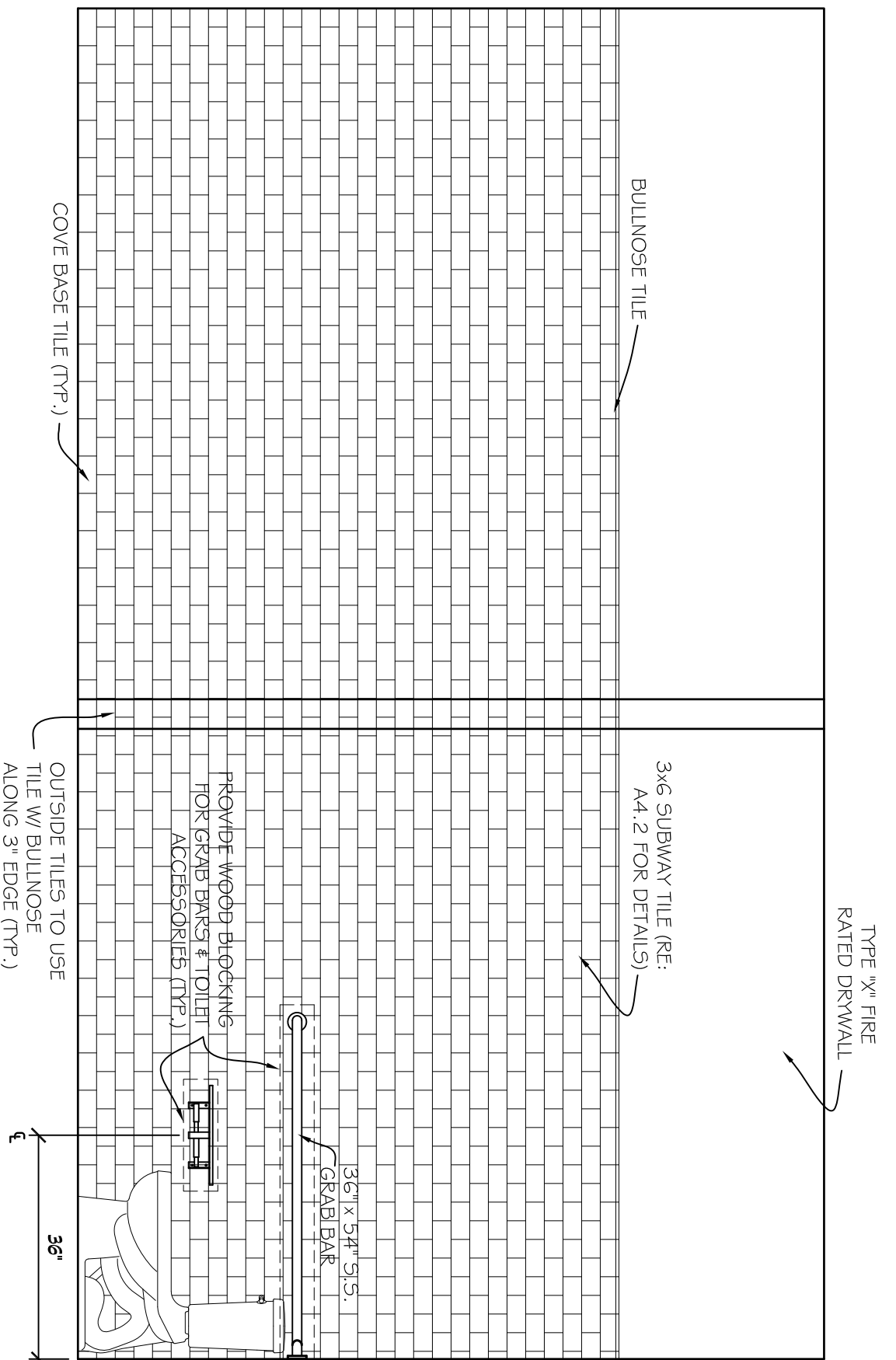
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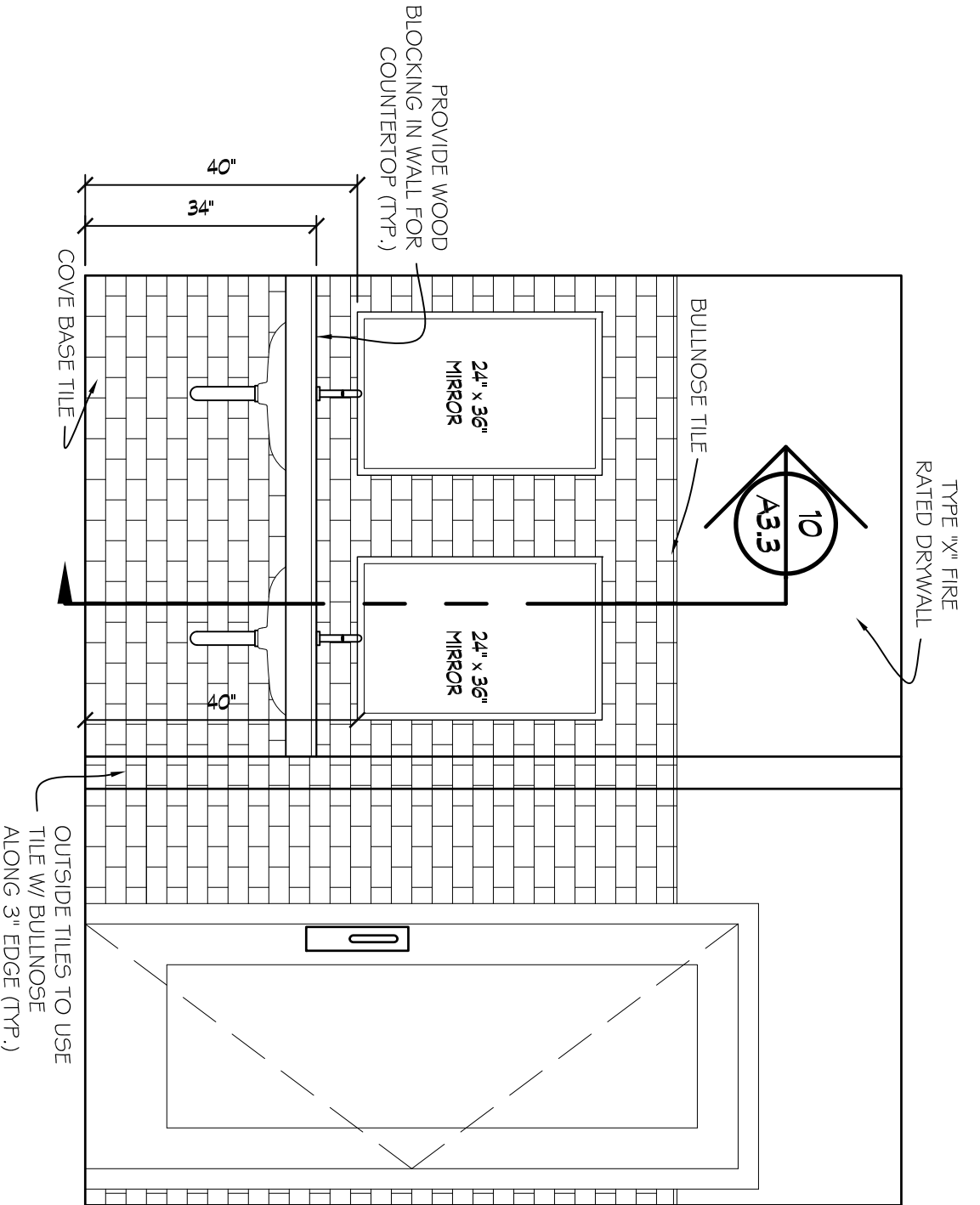
Permit Set

Exterior Elevations
SCALE: n/a
Date: 10/28/13

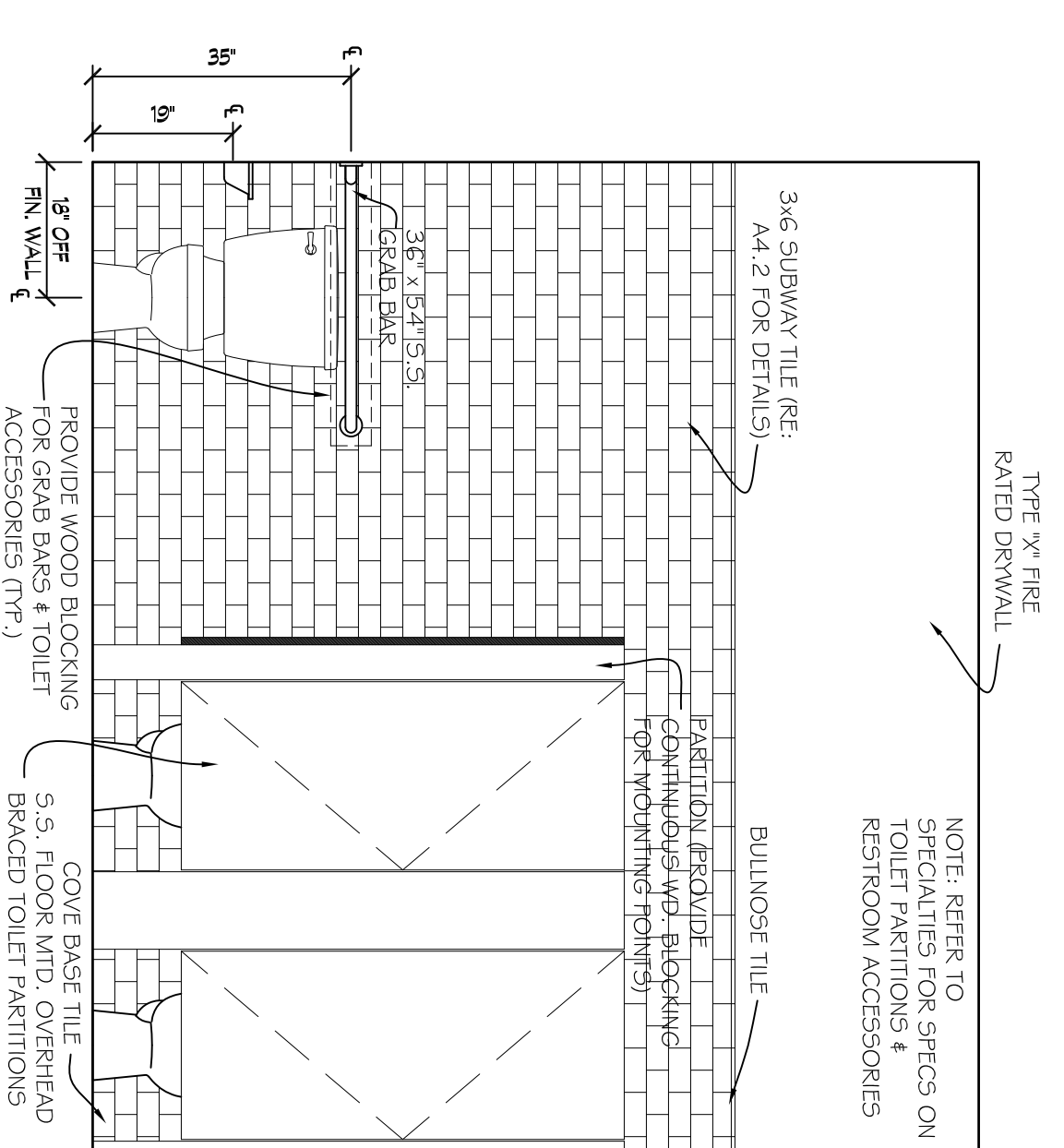
A2.1



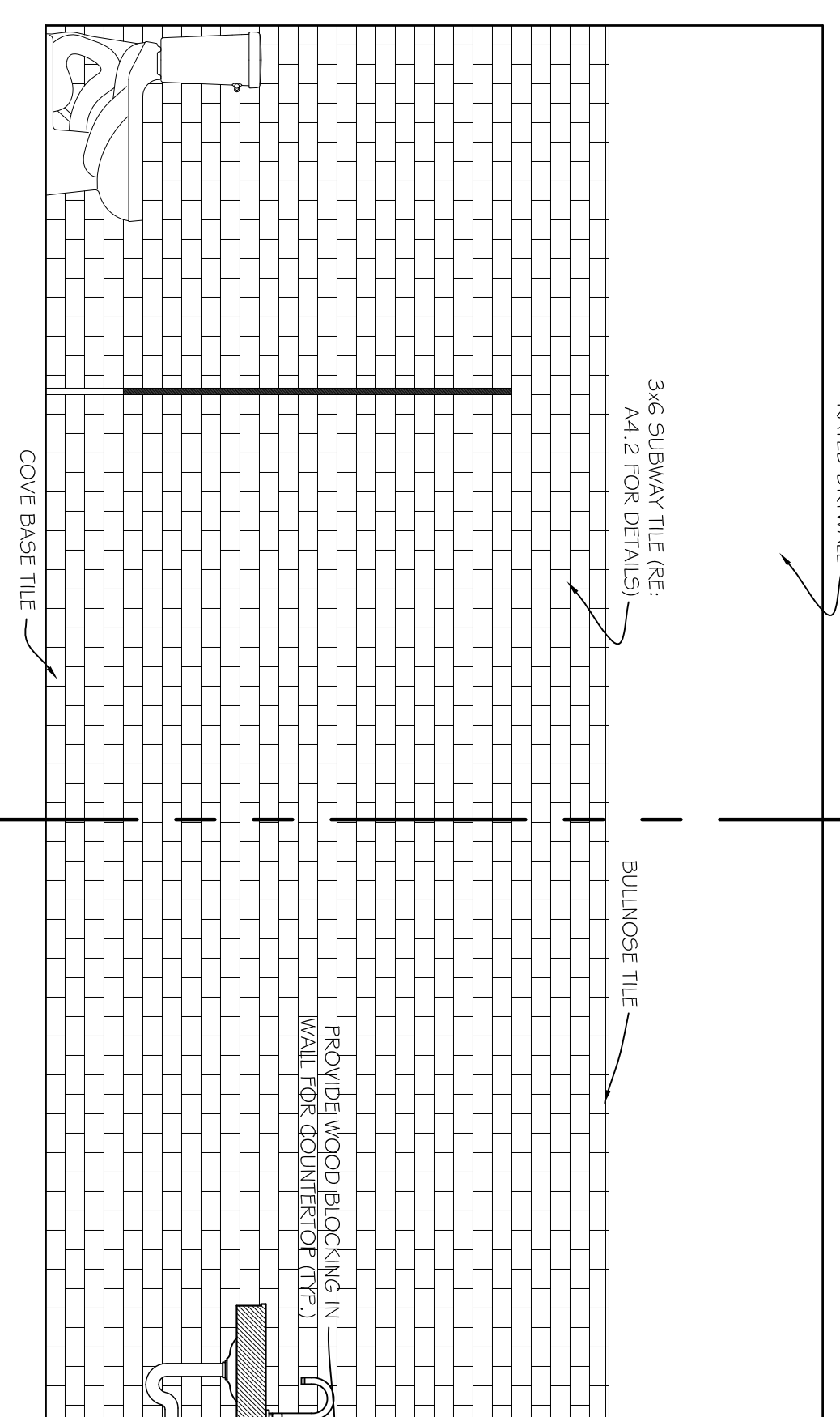
1 WOMEN'S RESTROOM ELEV.
Scale: 1/2" = 1'-0"



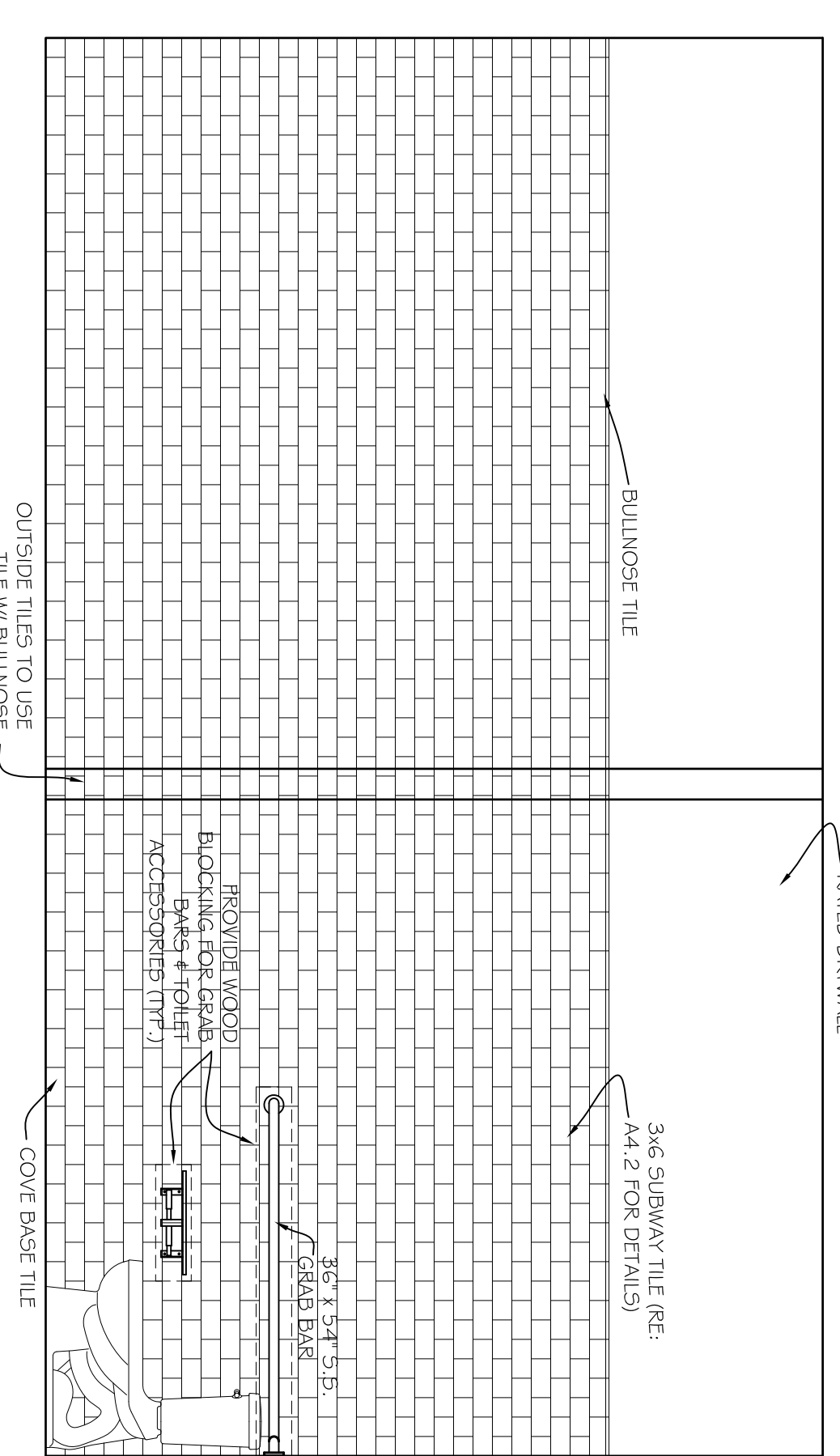
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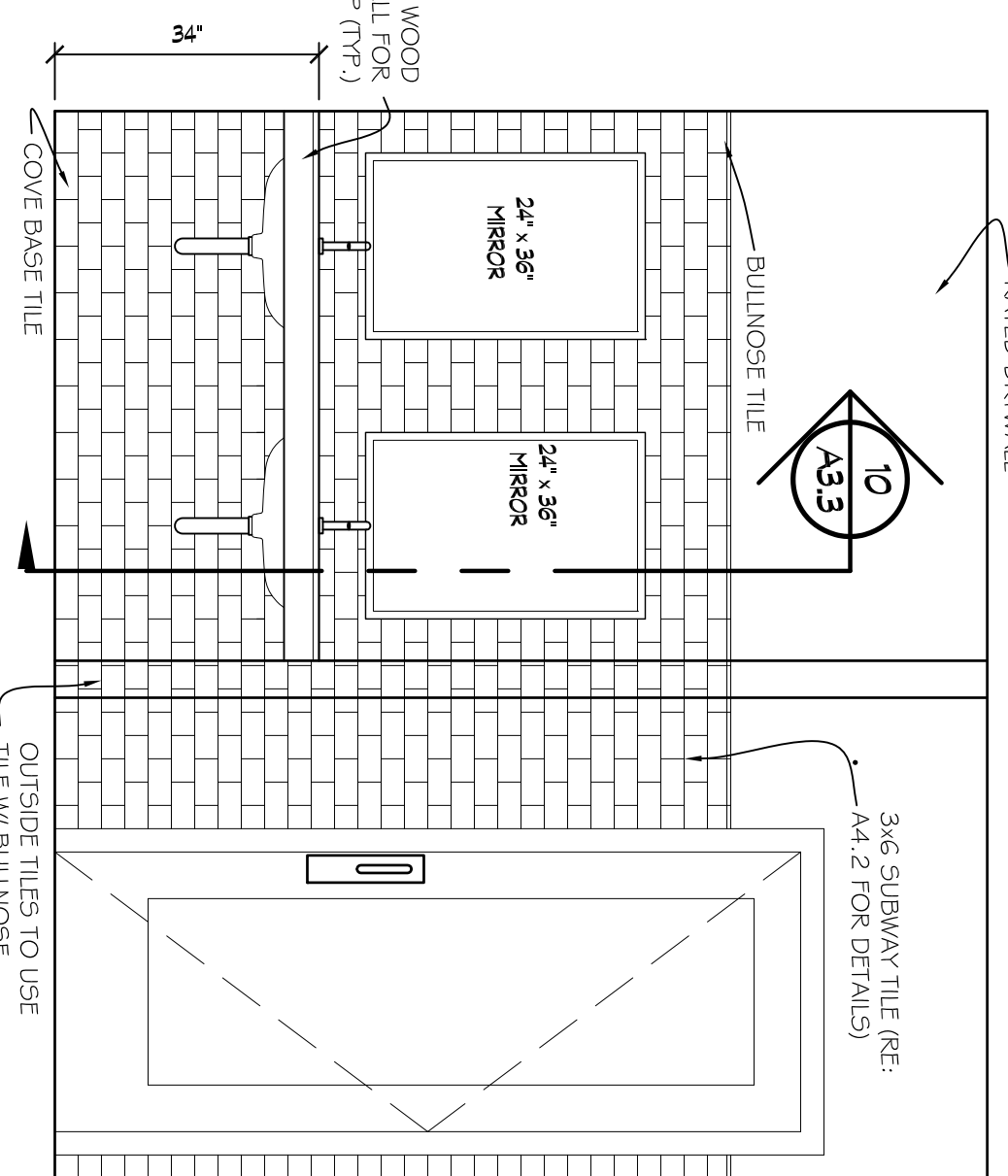
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Scale: 1/2" = 1'-0"



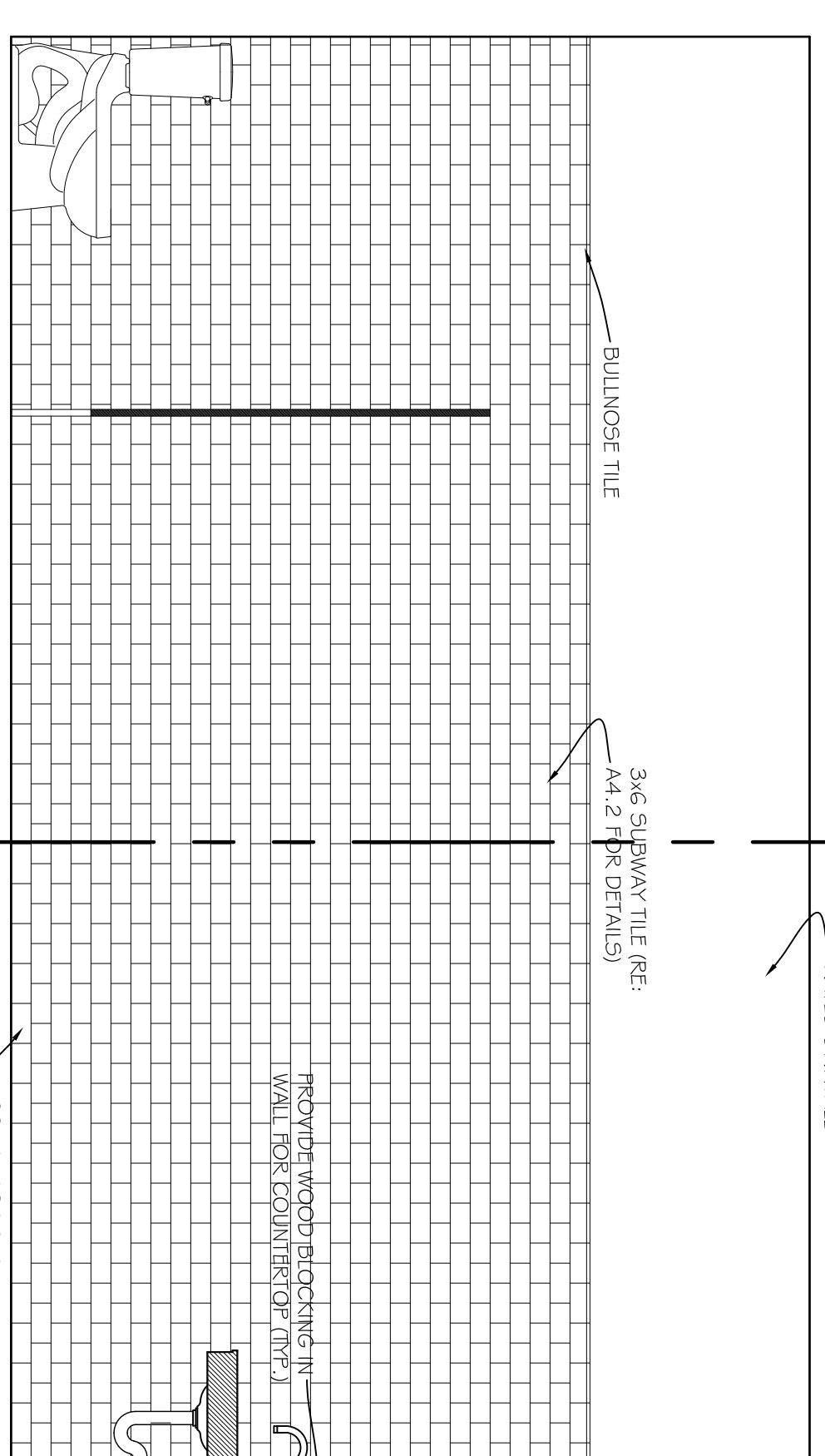
4 WOMEN'S RESTROOM ELEV.
Scale: 1/2" = 1'-0"



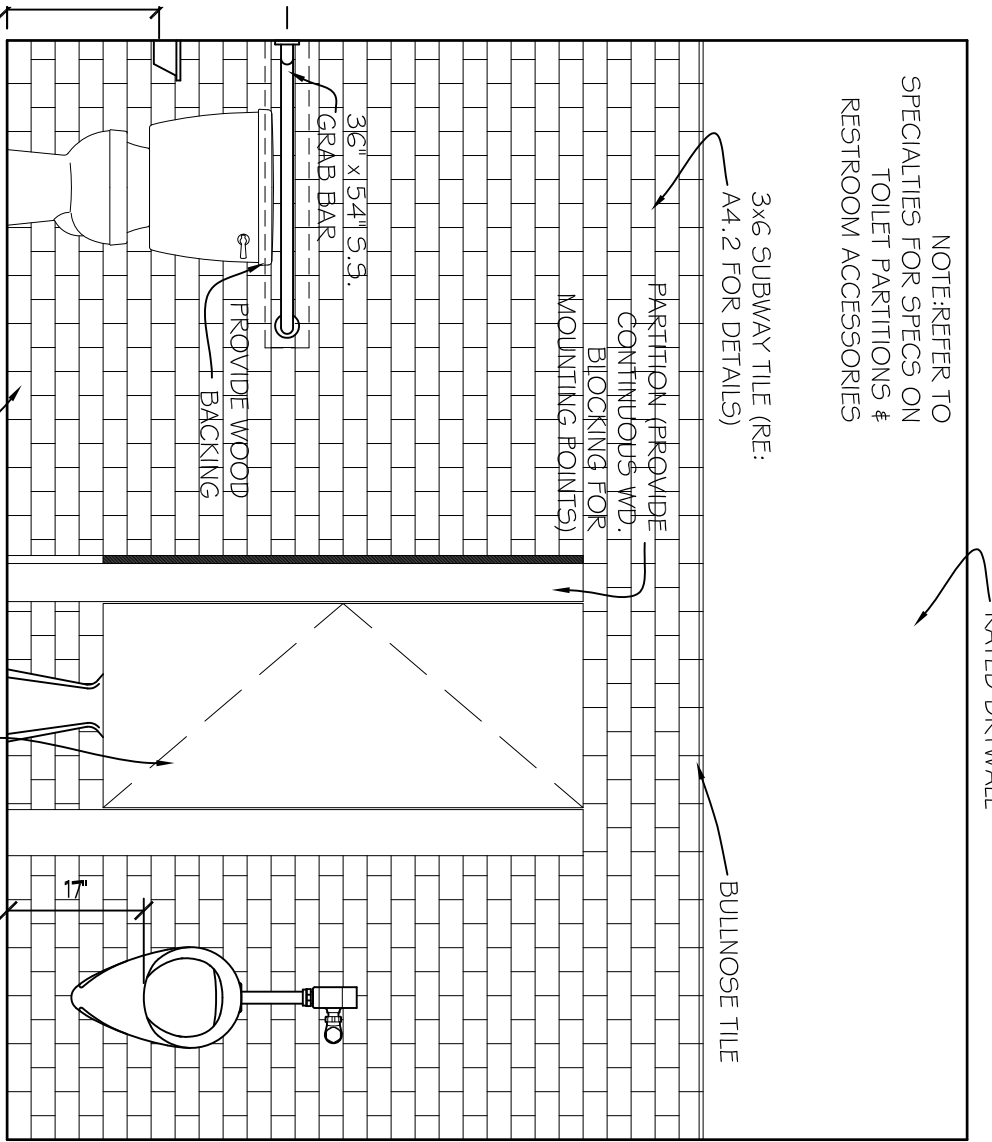
5 MEN'S RESTROOM ELEV.
Scale: 1/2" = 1'-0"



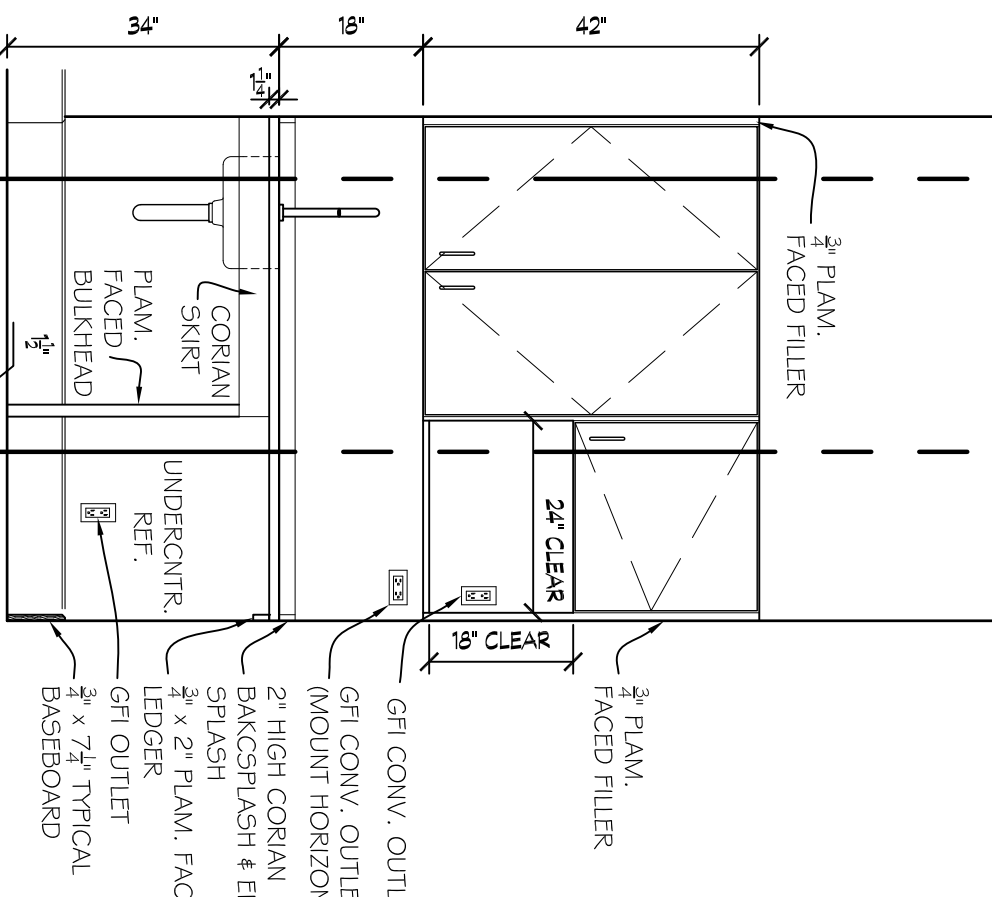
6 MEN'S RESTROOM ELEV.
Scale: 1/2" = 1'-0"



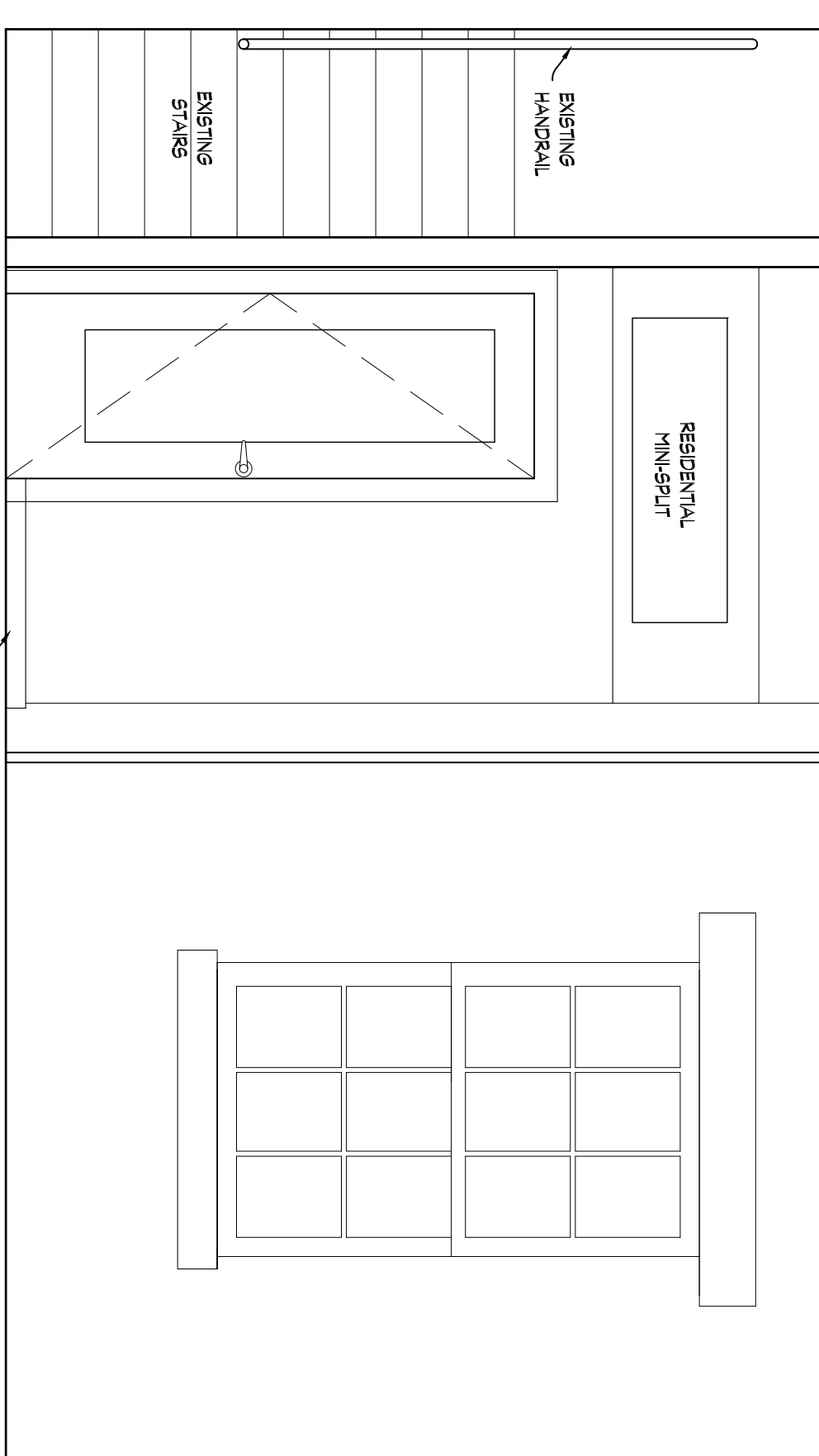
7 MEN'S RESTROOM ELEV.
Scale: 1/2" = 1'-0"



8 MEN'S RESTROOM ELEV.
Scale: 1/2" = 1'-0"



9 COFFEE BAR ELEV (TYP.)
Scale: 1/2" = 1'-0"



10 APARTMENT #200
Scale: 1/2" = 1'-0"

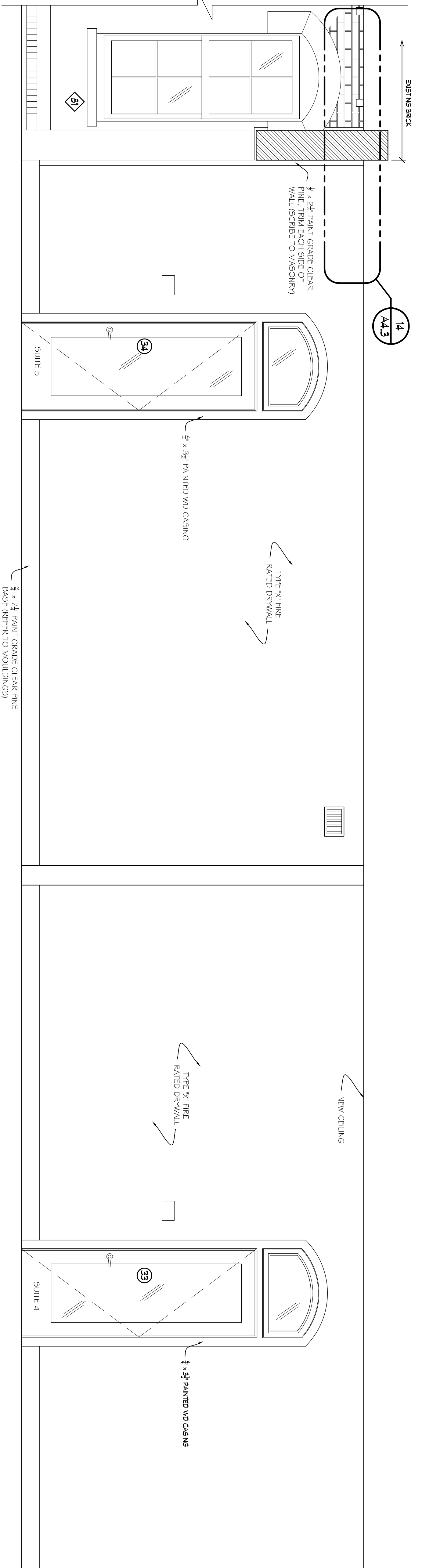
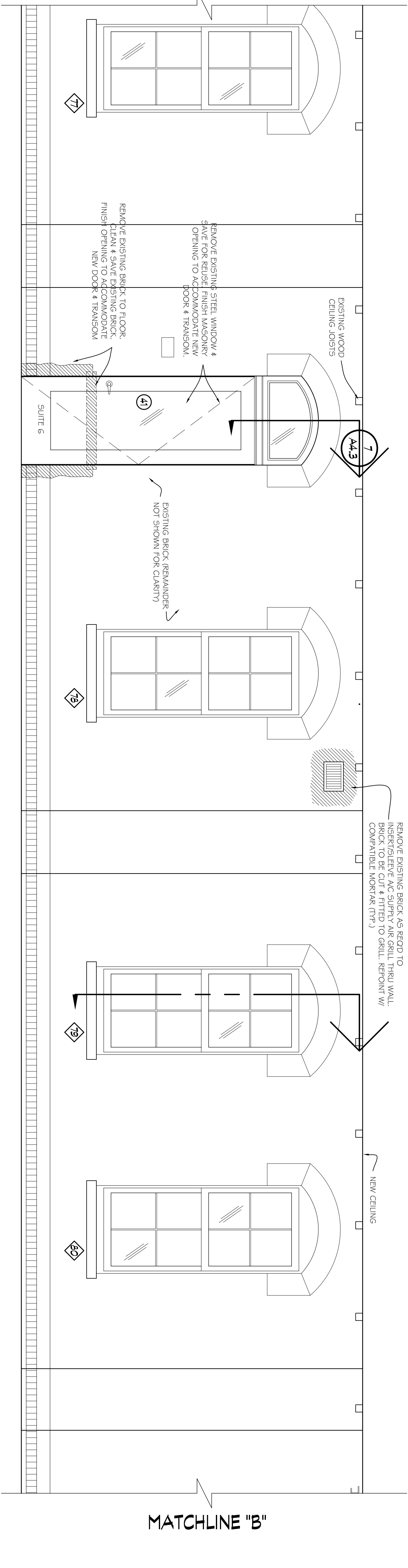
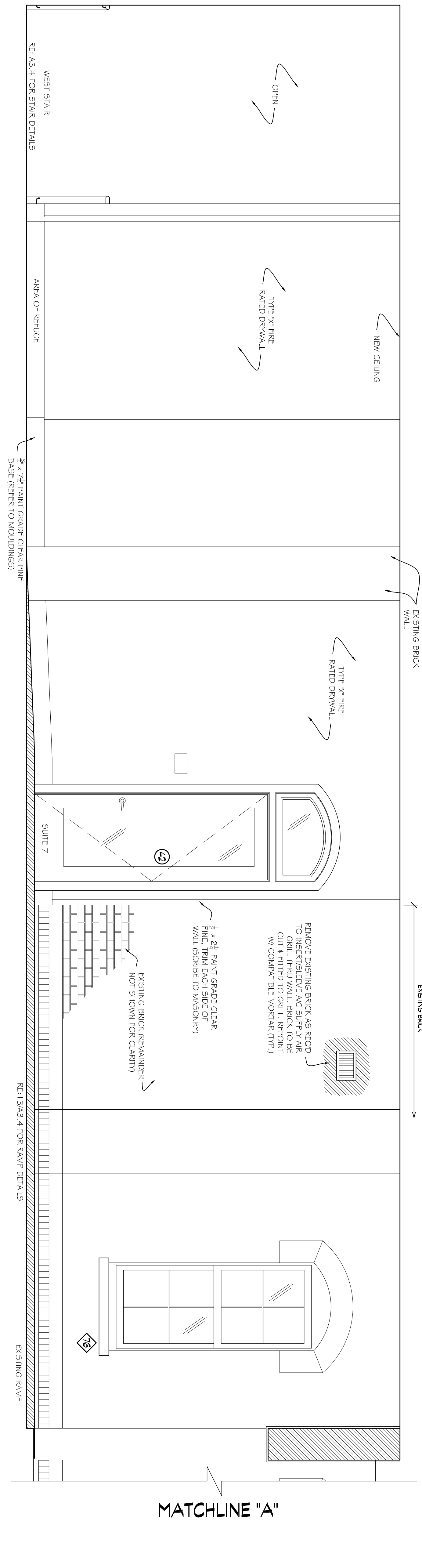
Nonya Grenader FAIA
ARCHITECT

David Watson, Architect & Associates
1921 Market Street Galveston, Texas 77550
409-762-8000 (Voice) 409-762-5256 (Facsimile)
Architecture, Renovation/Restoration, and Space Planning

**Clock Tower Building
Commercial Renovation**
611 W. 22nd Street
Houston, Texas 77008
Architect's Project No.: 130104

Permit Set
Interior Elevations
SCALE: N/A
Date: 10/28/13

A2.3



1 HALLWAY (LOOKING NORTH)
Scale: 1/2" = 1'-0"

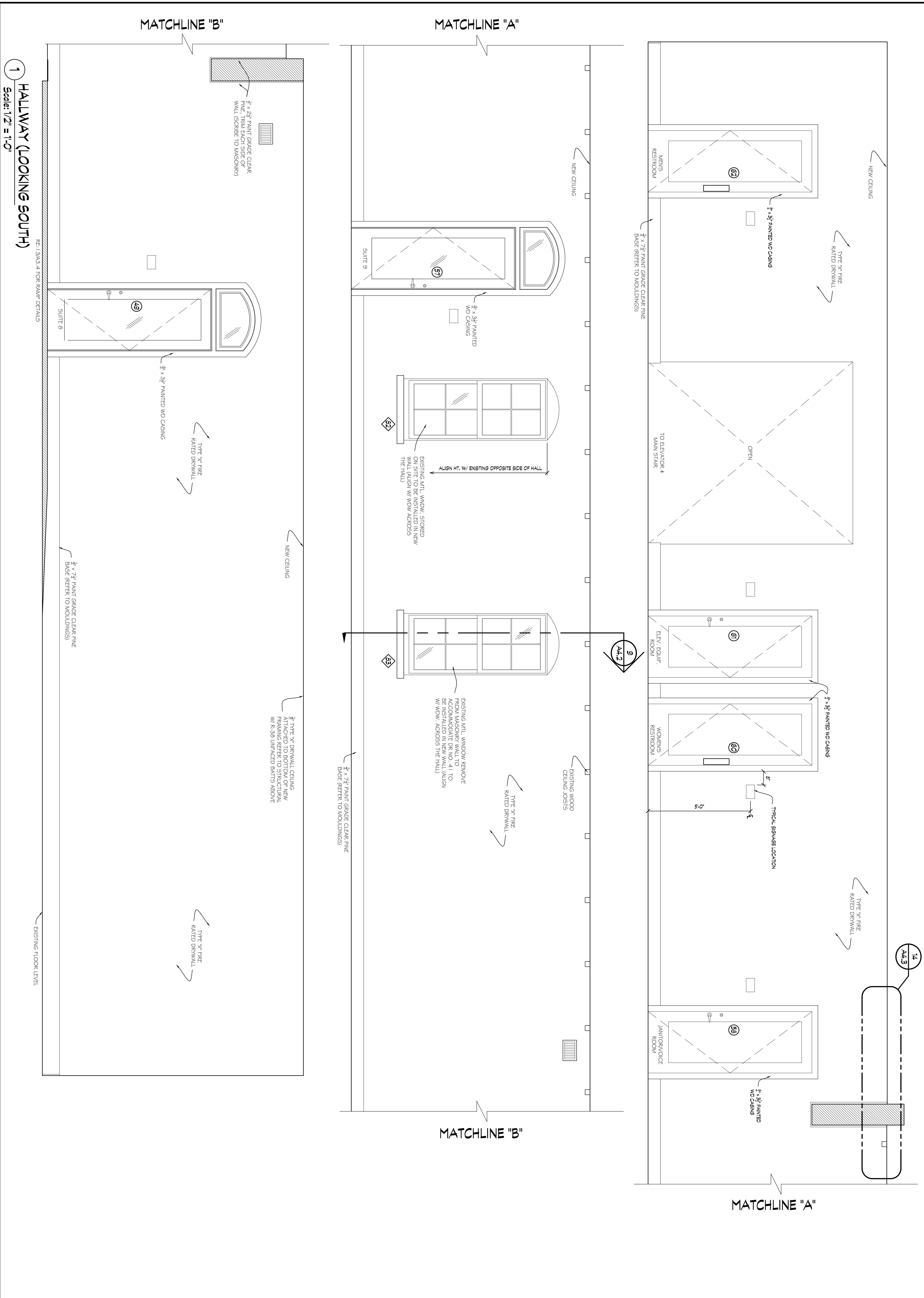
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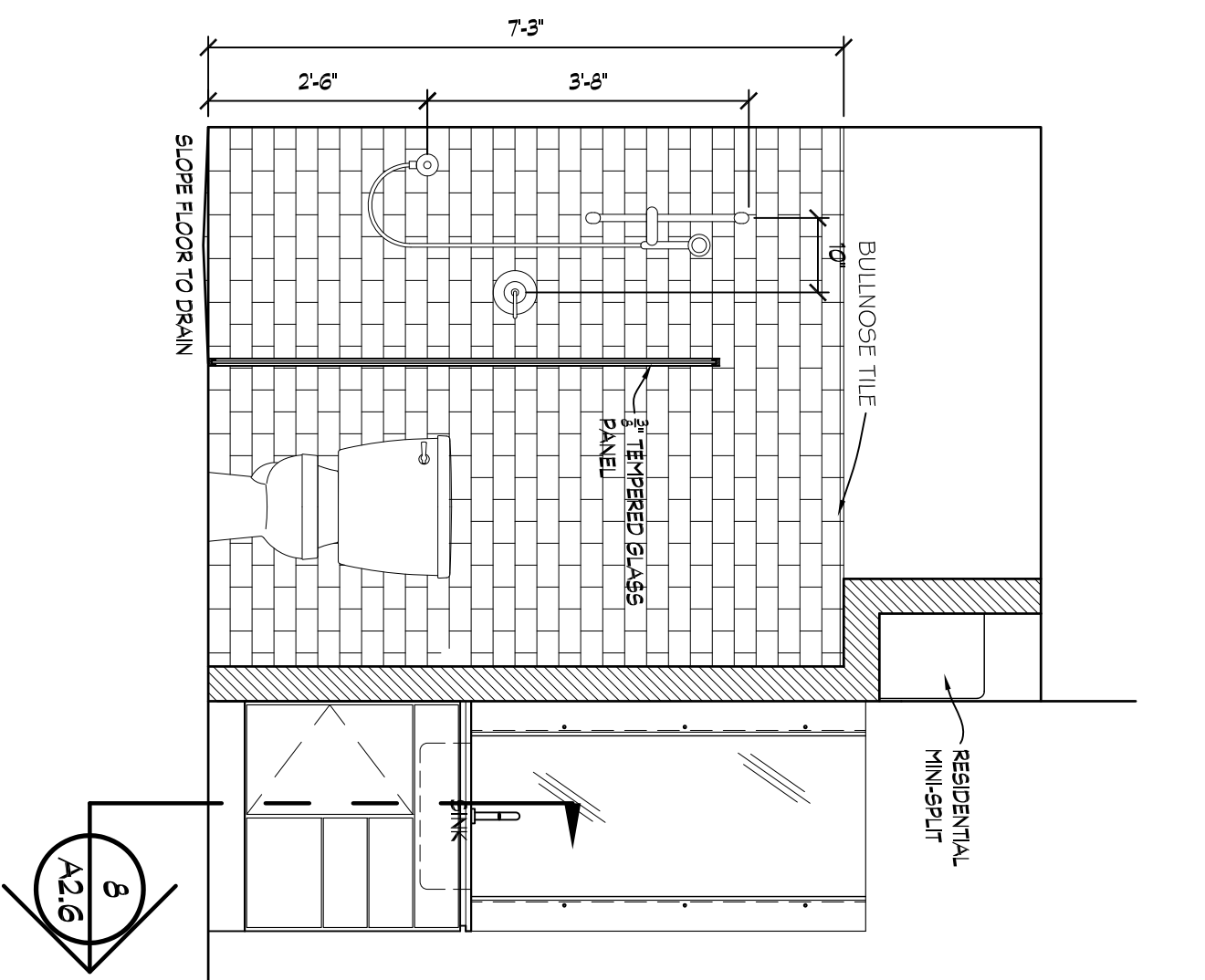
Permit Set
Interior Elevations
SCALE: N/A
Date: 10/28/13

A2.4

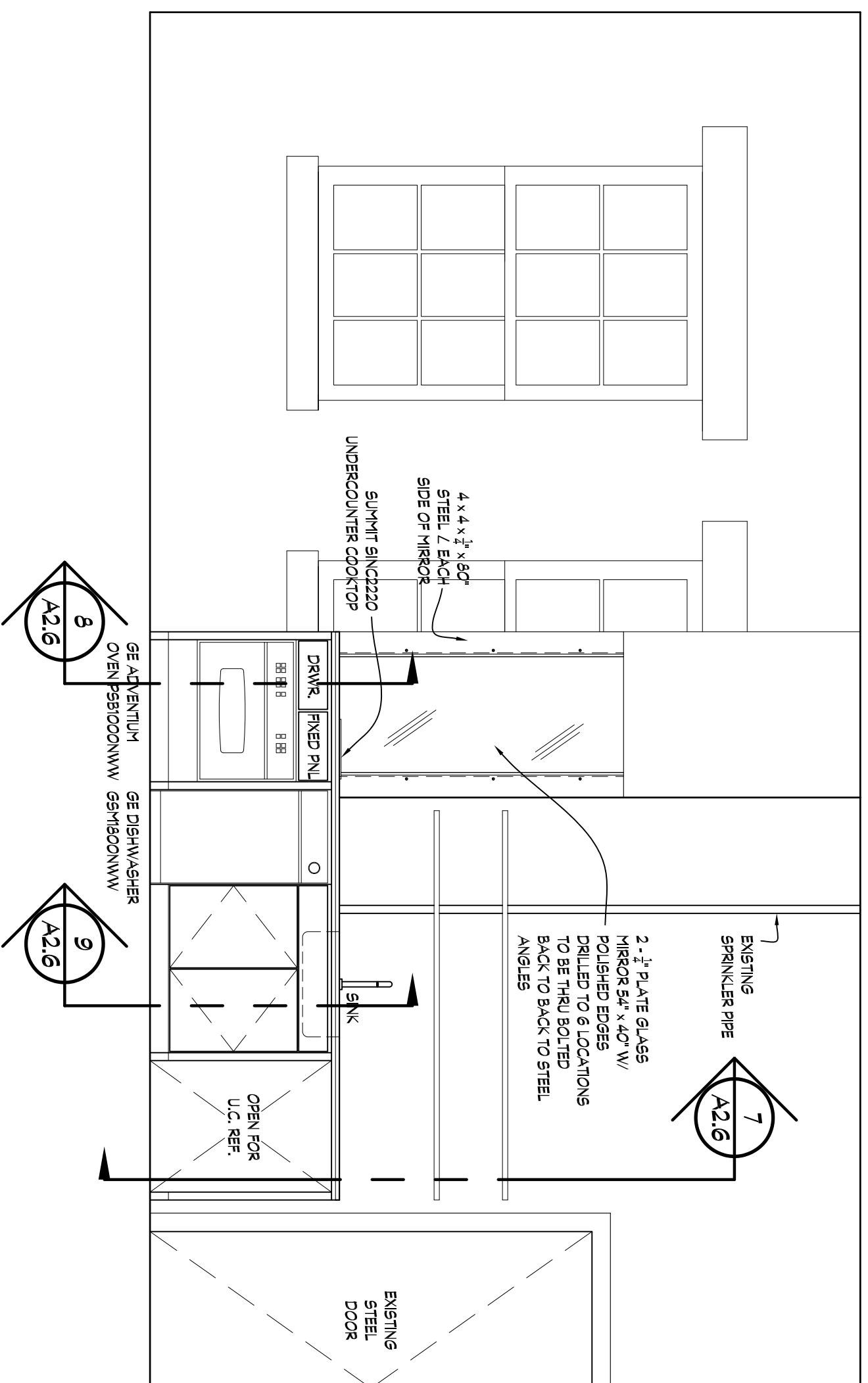


1 HALLWAY (LOOKING SOUTH)
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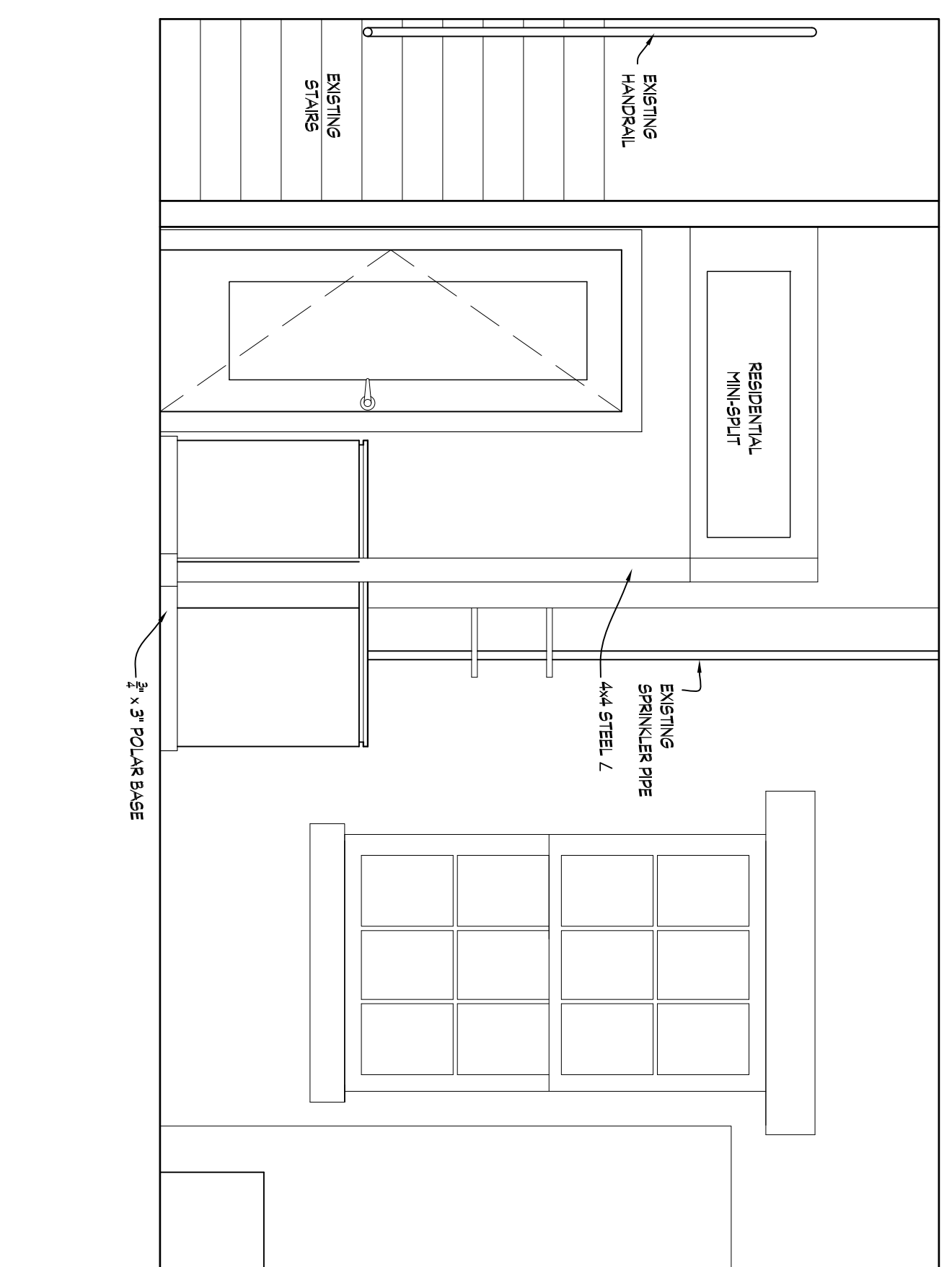
<h1 style="font-size: 2em;">A2.5</h1>	Permit Set	Clock Tower Building Commercial Renovation 611 W. 22nd Street Houston, Texas 77008 <small>Architect's Project No.: 130104</small>	 David Watson, Architect & Associates <small>1921 Market Street Galveston, Texas 77550 409-762-8000 (Voice) 409-762-5256 (Facsimile) Architecture, Renovation/Restoration, and Space Planning</small>	Nonya Grenader FAIA ARCHITECT
	<small>Interior Elevations SCALE: n/a</small>	<small>Date: 10/28/13</small>		



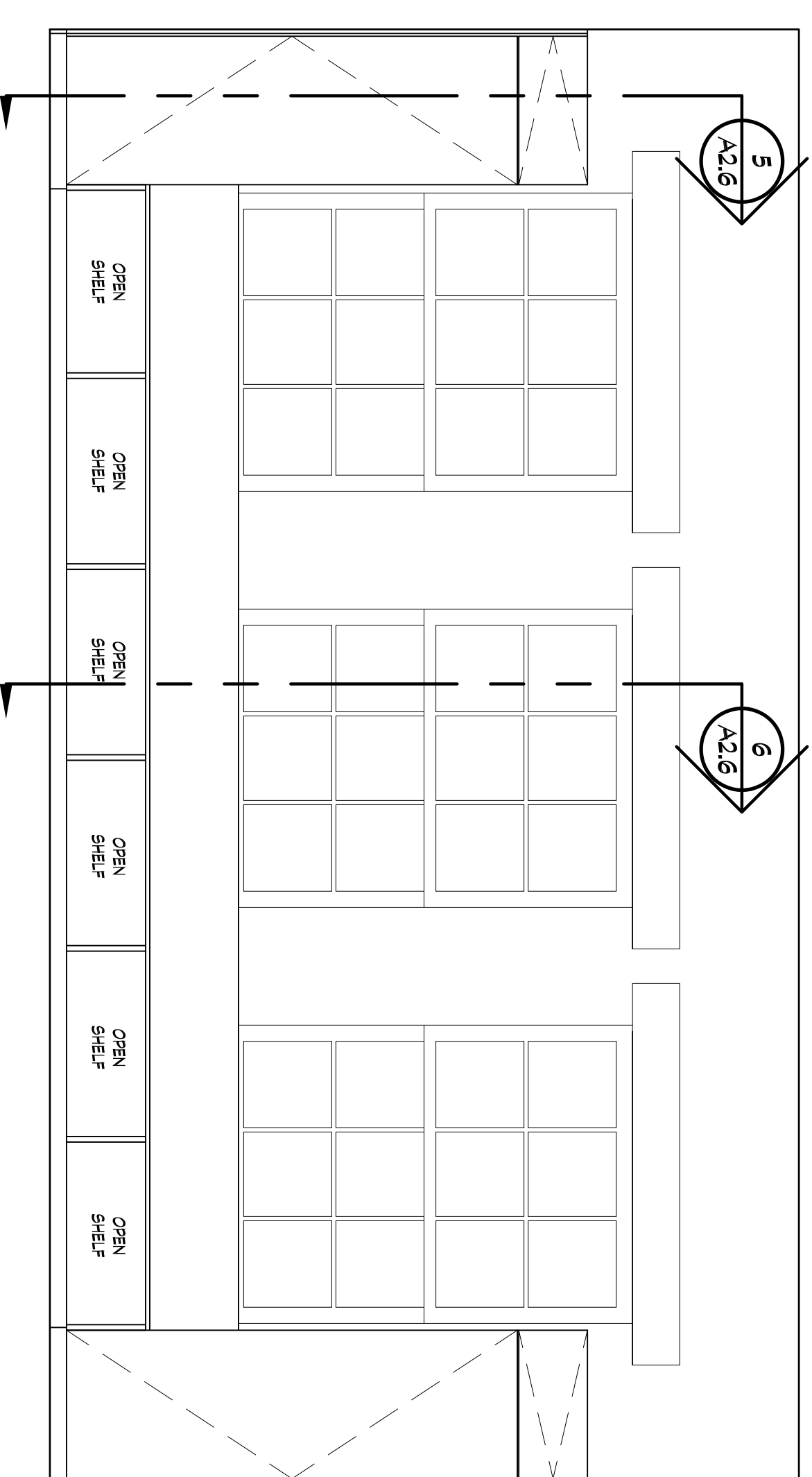
1 APARTMENT 300 BATHROOM
Scale: 1/2" = 1'-0"



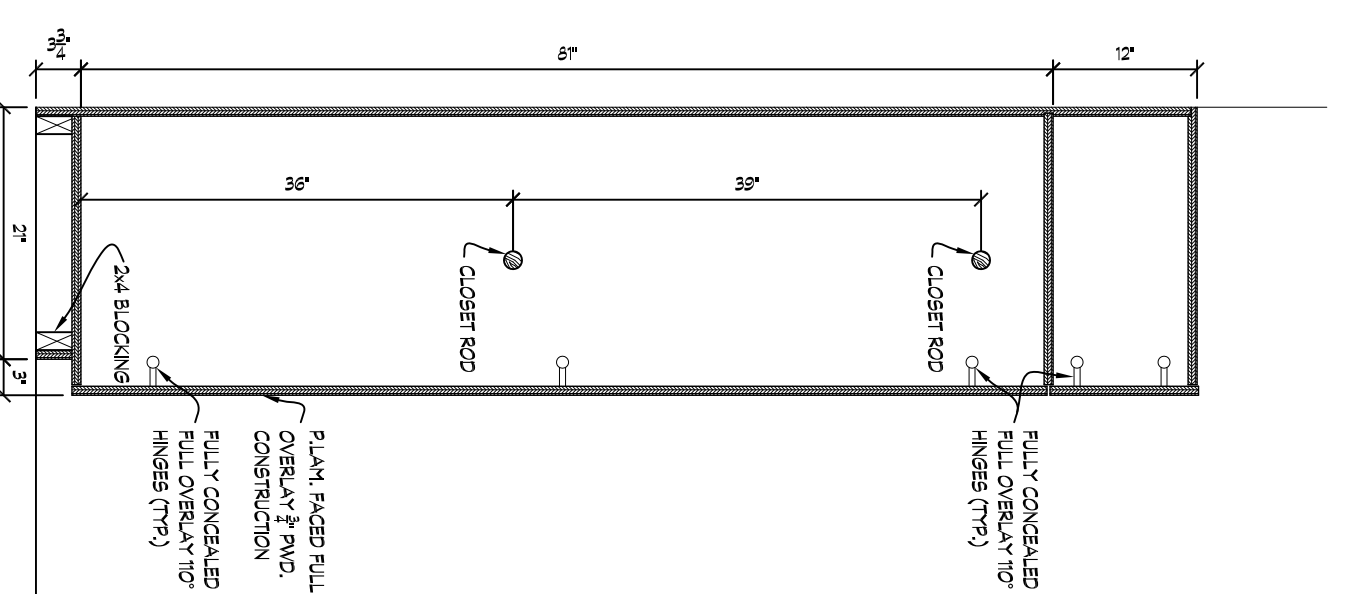
2 APARTMENT 300 KITCHEN
Scale: 1/2" = 1'-0"



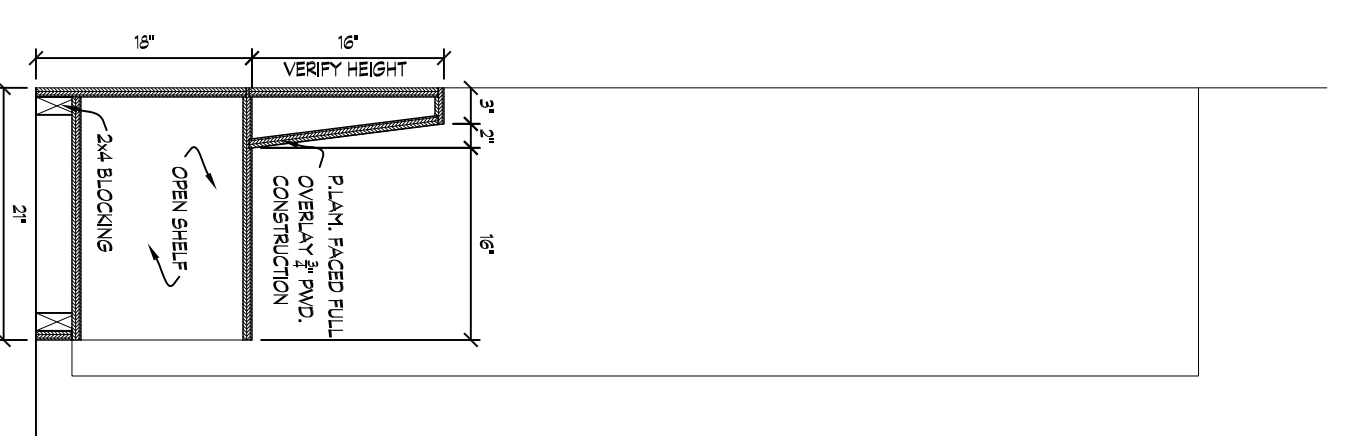
3 APARTMENT 300
Scale: 1/2" = 1'-0"



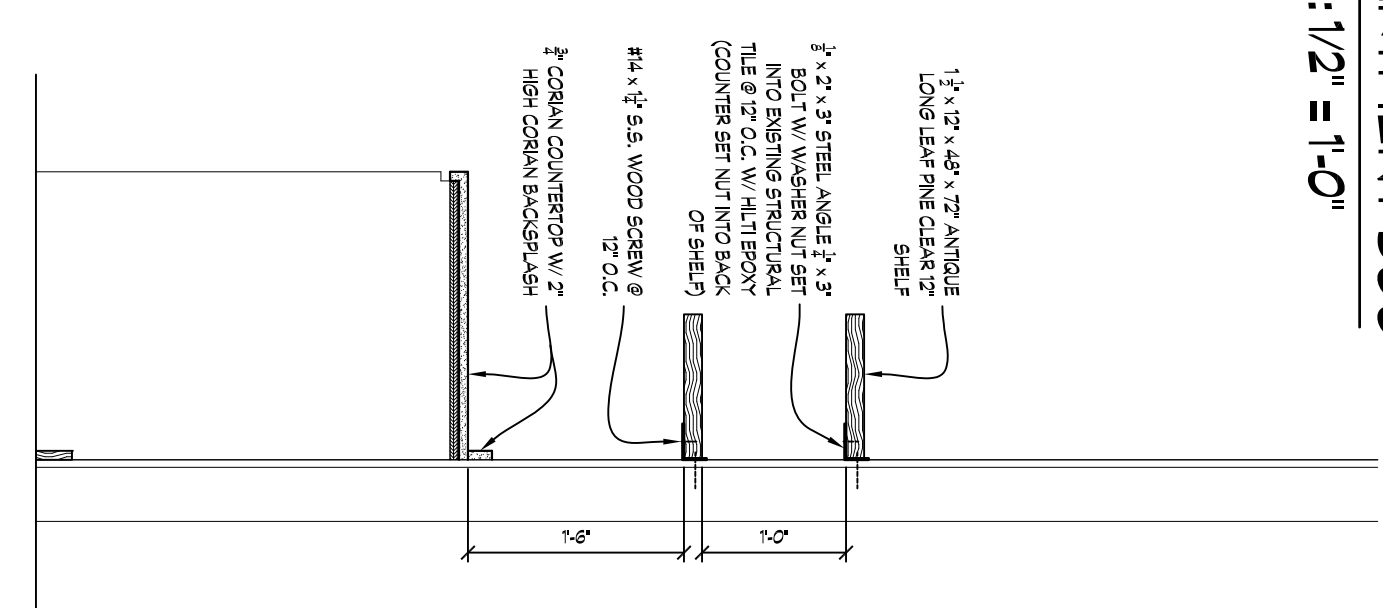
4 APARTMENT 300
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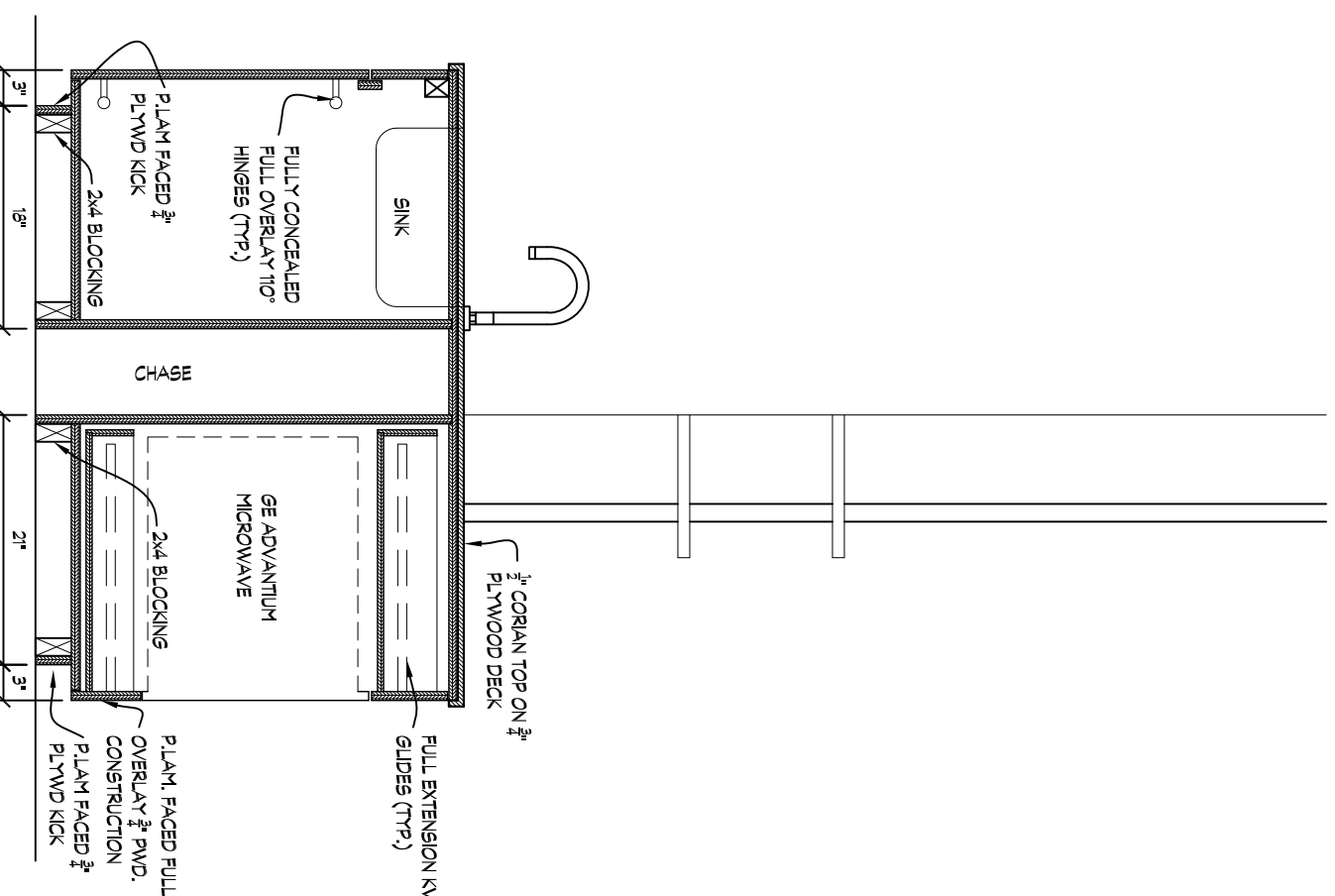
5 DETAIL @ TALL CABINET
Scale: 3/4" = 1'-0"



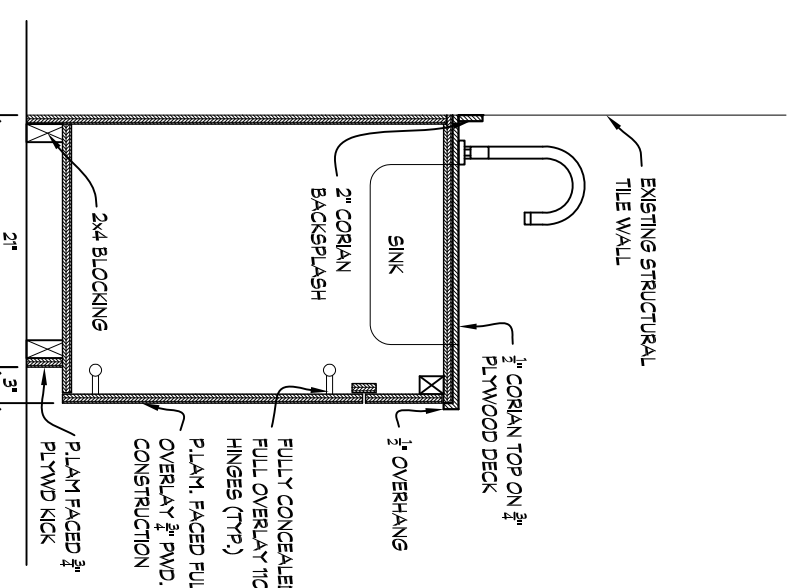
6 SECTION DETAIL @ WINDOW SHELF
Scale: 3/4" = 1'-0"



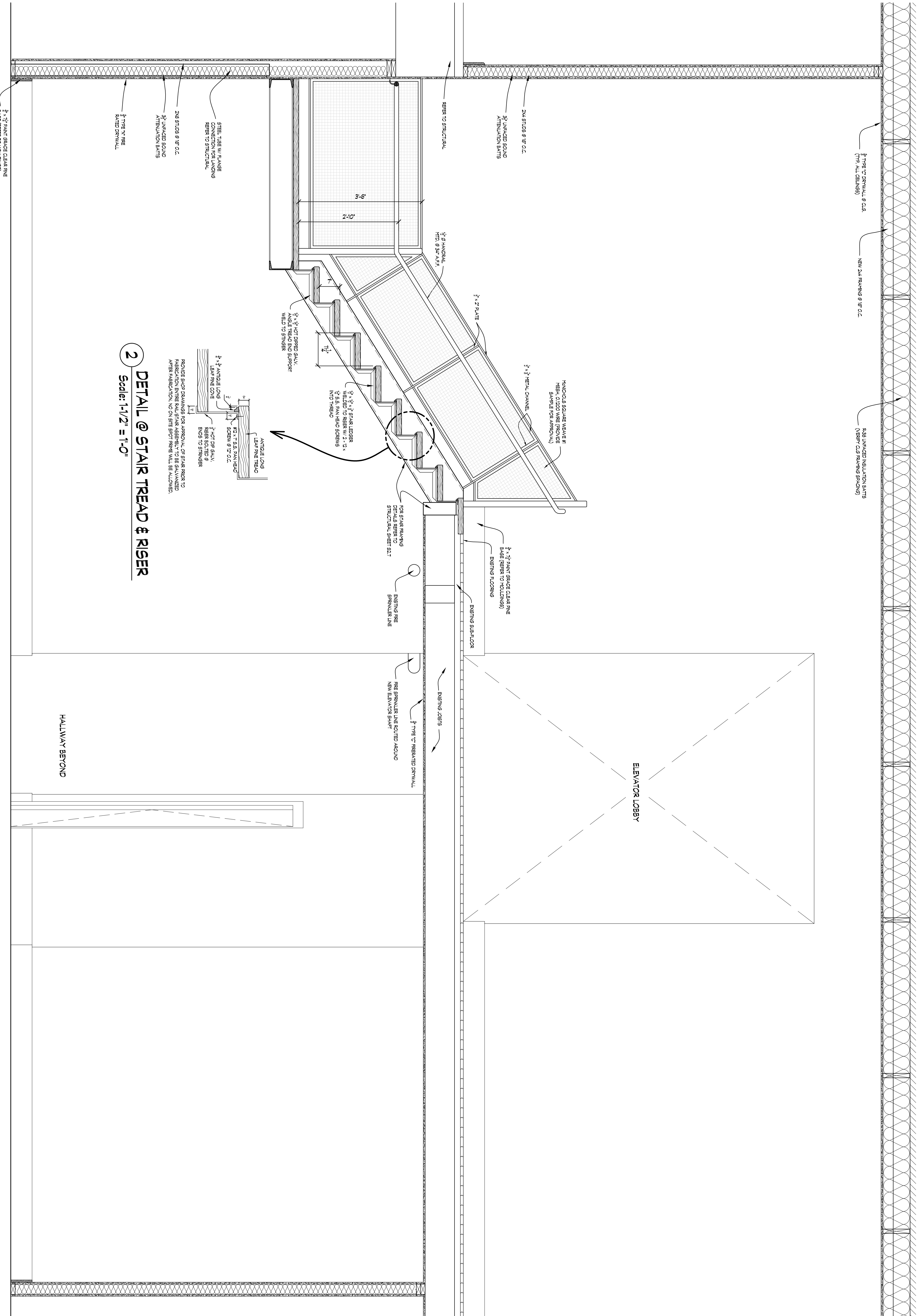
7 SECTION DETAIL @ KITCHEN COUNTER
Scale: 3/4" = 1'-0"



8 SECTION DETAIL @ BATHROOM/KITCHEN COUNTER
Scale: 3/4" = 1'-0"



9 SECTION DETAIL @ KITCHEN SINK
Scale: 3/4" = 1'-0"



1 SECTION @ MAIN STAIRS
Scale: 3/4" = 1'-0"

2 DETAIL @ STAIR TREAD & RISER
Scale: 1-1/2" = 1'-0"

HALLWAY BEYOND

ELEVATOR LOBBY

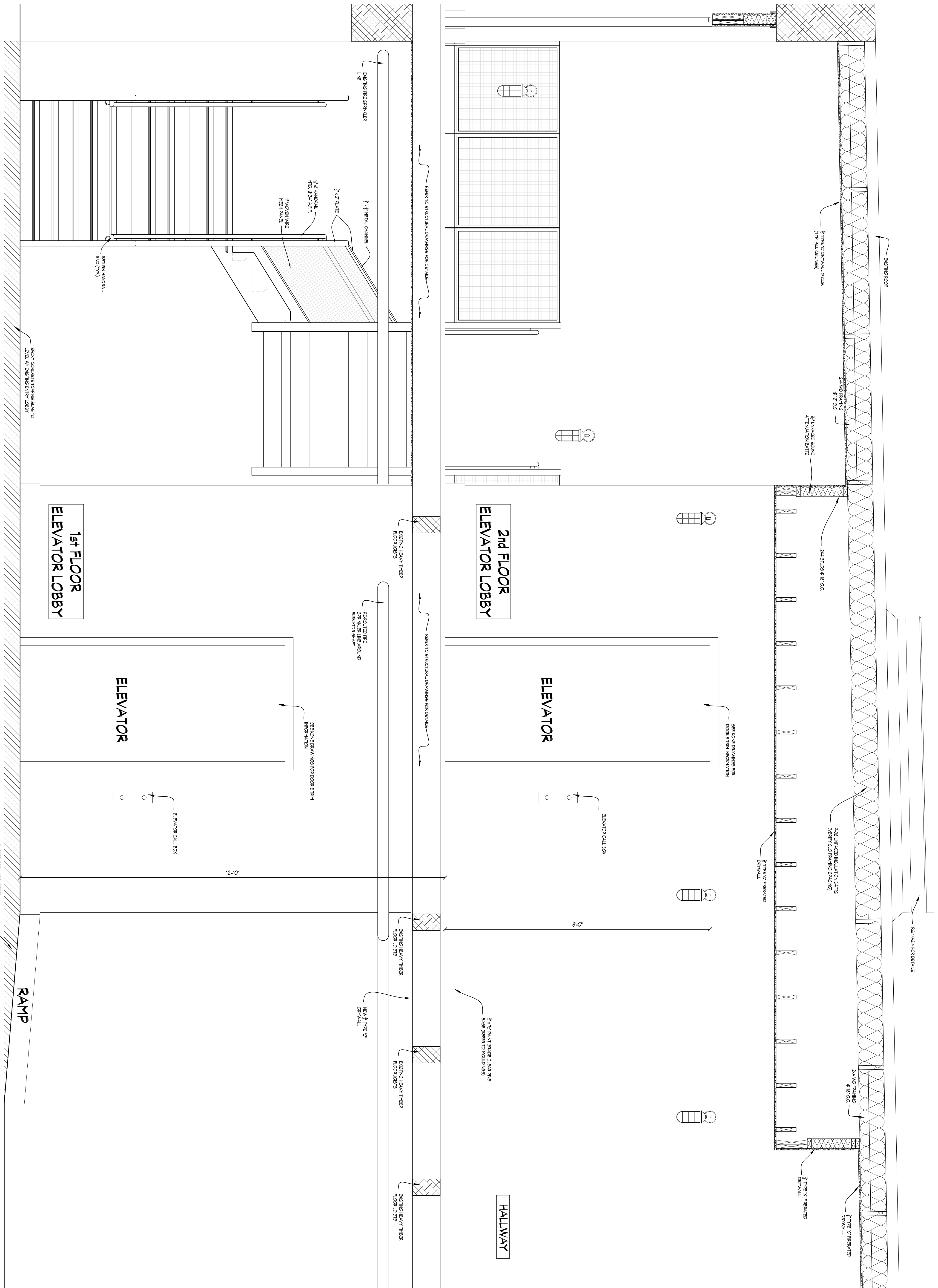
Permit Set
Sections & Details
SCALE: N/A
Date: 10/28/13

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A3.0



1 SECTION @ ELEVATOR
 Scale: 3/4" = 1'-0"

**1st FLOOR
 ELEVATOR LOBBY**

**2nd FLOOR
 ELEVATOR LOBBY**

ELEVATOR

ELEVATOR

HALLWAY

RAMP

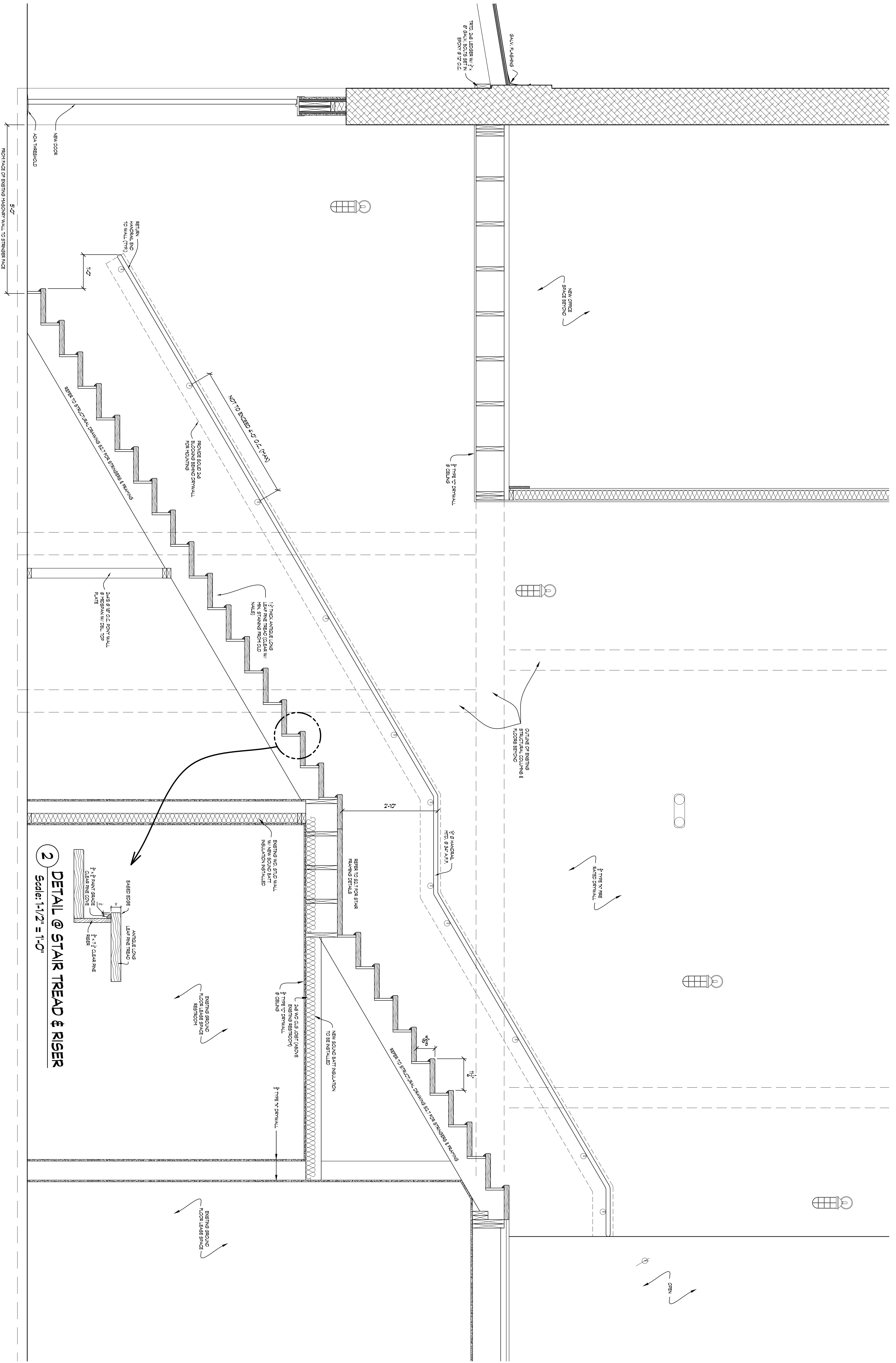
Permit Set
 Sections & Details
 SCALE: 3/4" = 1'-0"
 Date: 10/28/13

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A3.1



1 SECTION @ BACK STAIR
Scale: 3/4" = 1'-0"

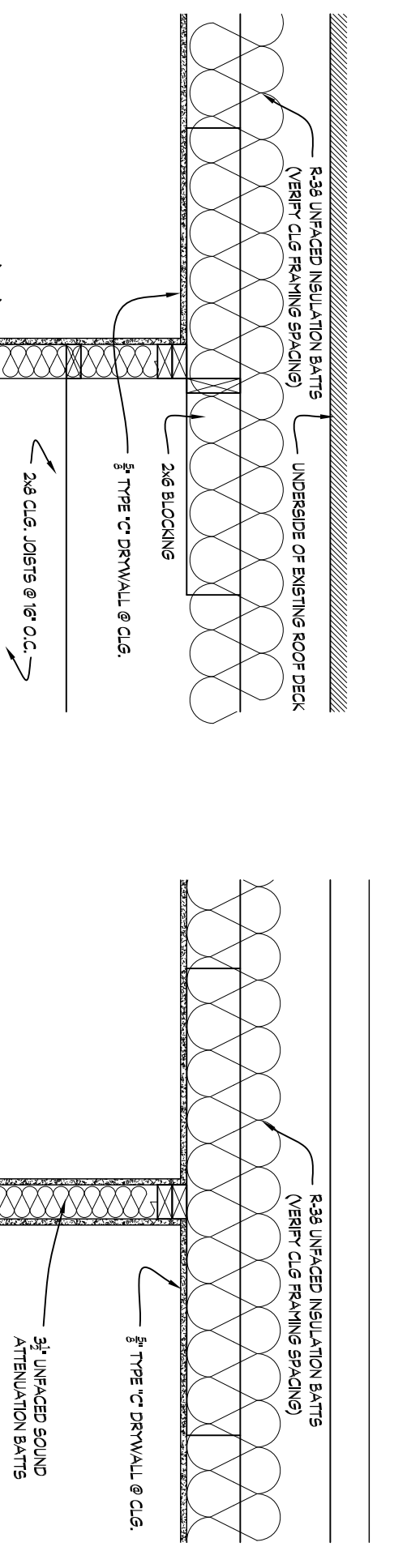
2 DETAIL @ STAIR TREAD & RISER
Scale: 1-1/2" = 1'-0"

Permit Set
 Sections & Details
 SCALE: N/A
 DATE: 10/28/13

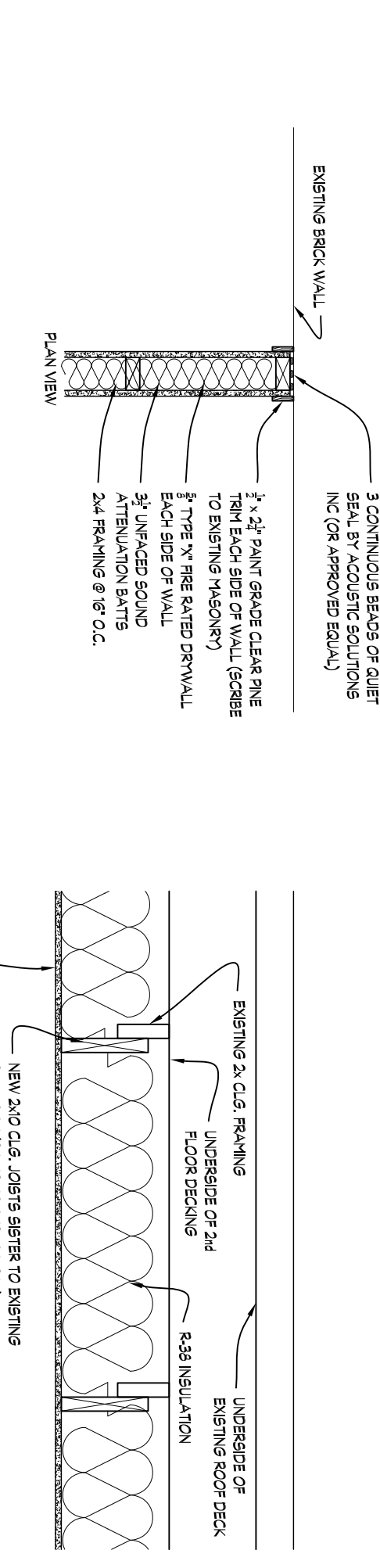
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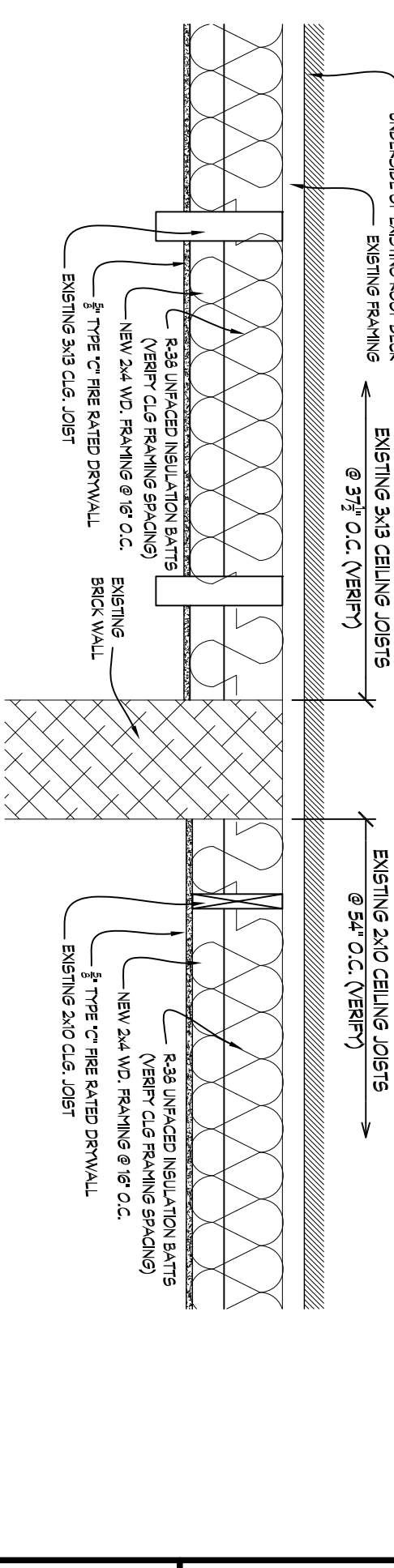
Nonya Grenader FAIA
 ARCHITECT



1 SECTION @ RESTROOM
Scale: 3/4" = 1'-0"

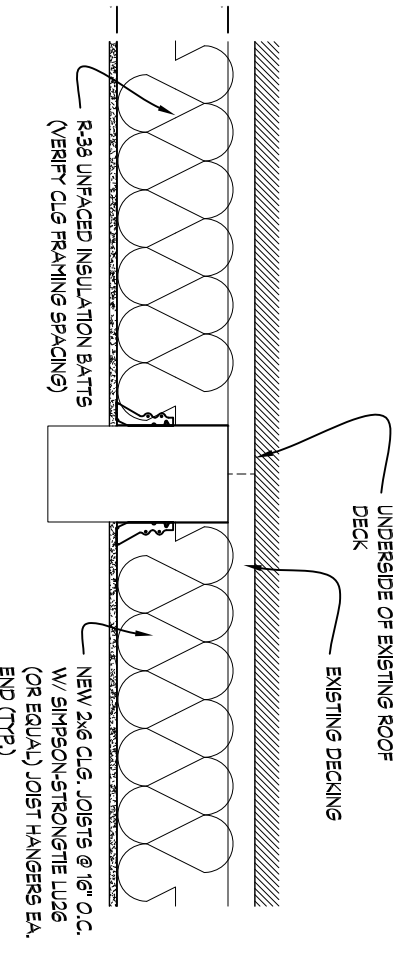


2 TYPICAL WALL SECTION
Scale: 3/4" = 1'-0"

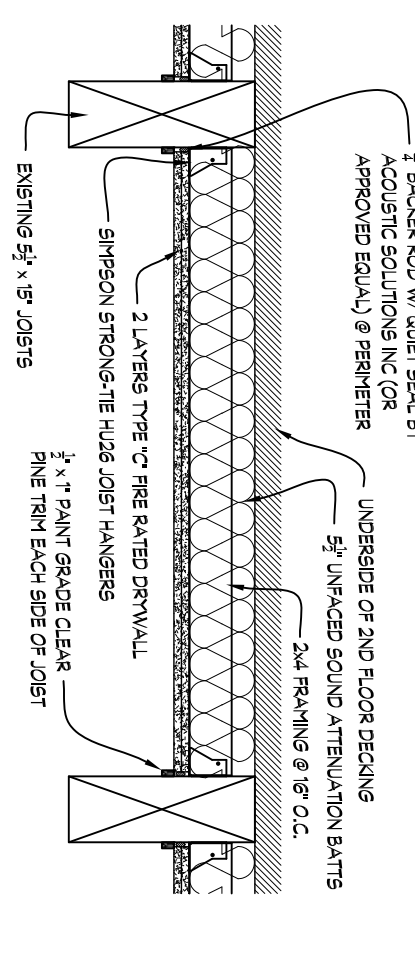


3 TYPICAL DETAIL @ EXISTING BRICK/NEW WALL
Scale: 3/4" = 1'-0"

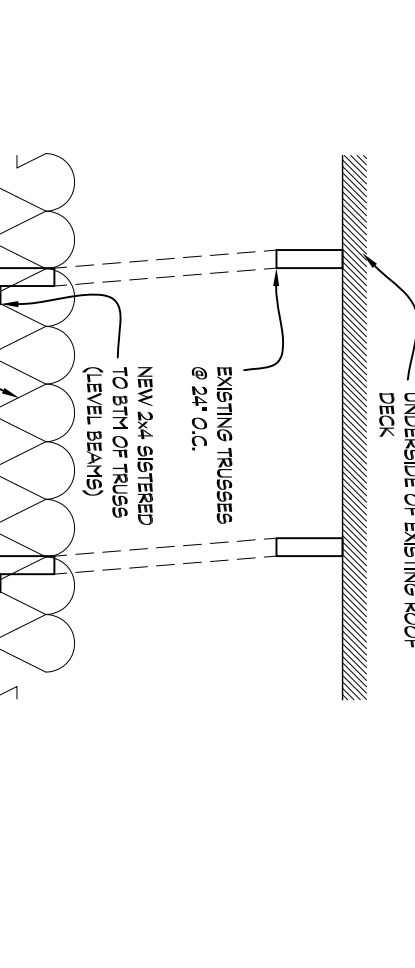
5 TYPICAL SECTION @ CLG. FURR DOWN
Scale: 3/4" = 1'-0"



4 SECTION @ EXISTING STRUCTURAL BEAMS IN SUITE @
Scale: 3/4" = 1'-0"



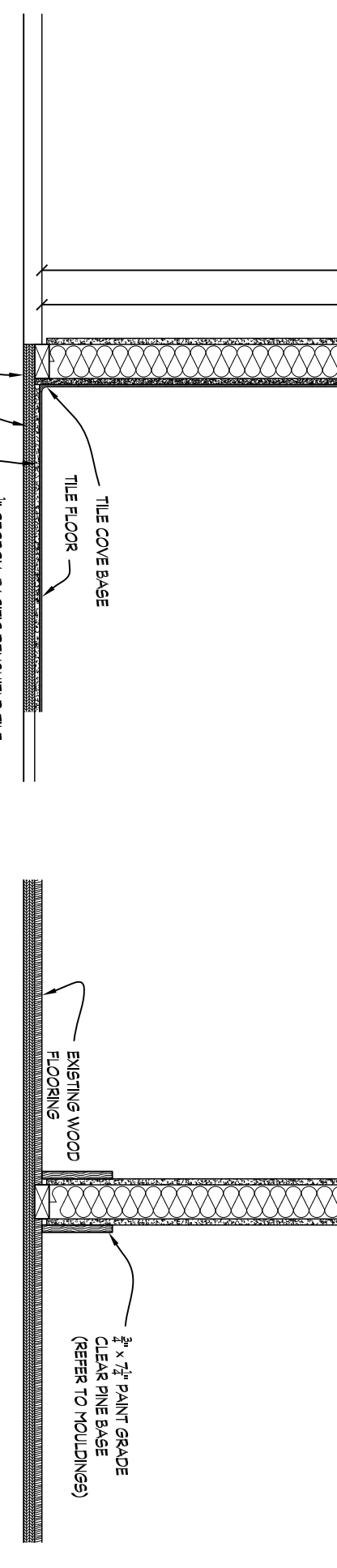
6 SECTION @ 1st FLOOR COFFEE SHOP CEILING
Scale: 3/4" = 1'-0"



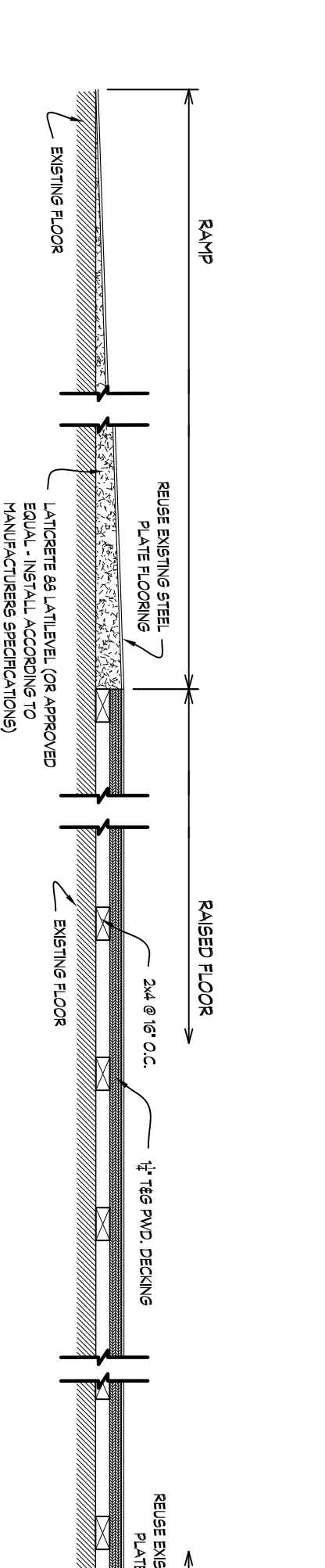
12 SECTION DETAIL @ EXISTING CEILING JOIST IN HALLWAY
Scale: 3/4" = 1'-0"



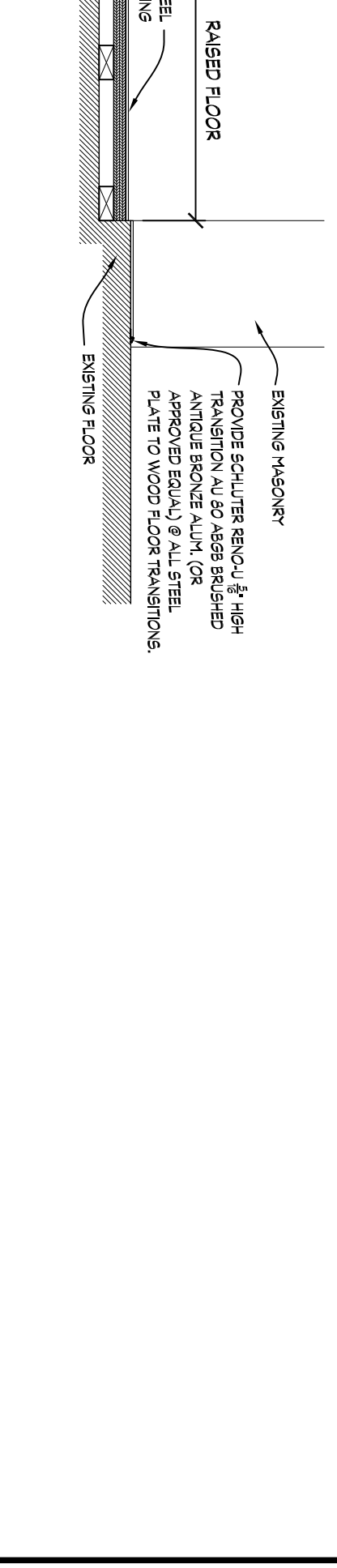
13 SECTION @ CEILING SUITES 3, 4, 5, 6, 7
Scale: 3/4" = 1'-0"



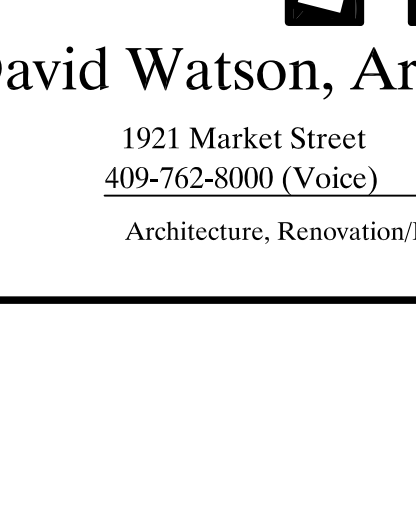
7 SECTION DETAIL @ HALLWAY RAMP
Scale: 3/4" = 1'-0"



8 SECTION @ CEILING SUITE 9
Scale: 3/4" = 1'-0"



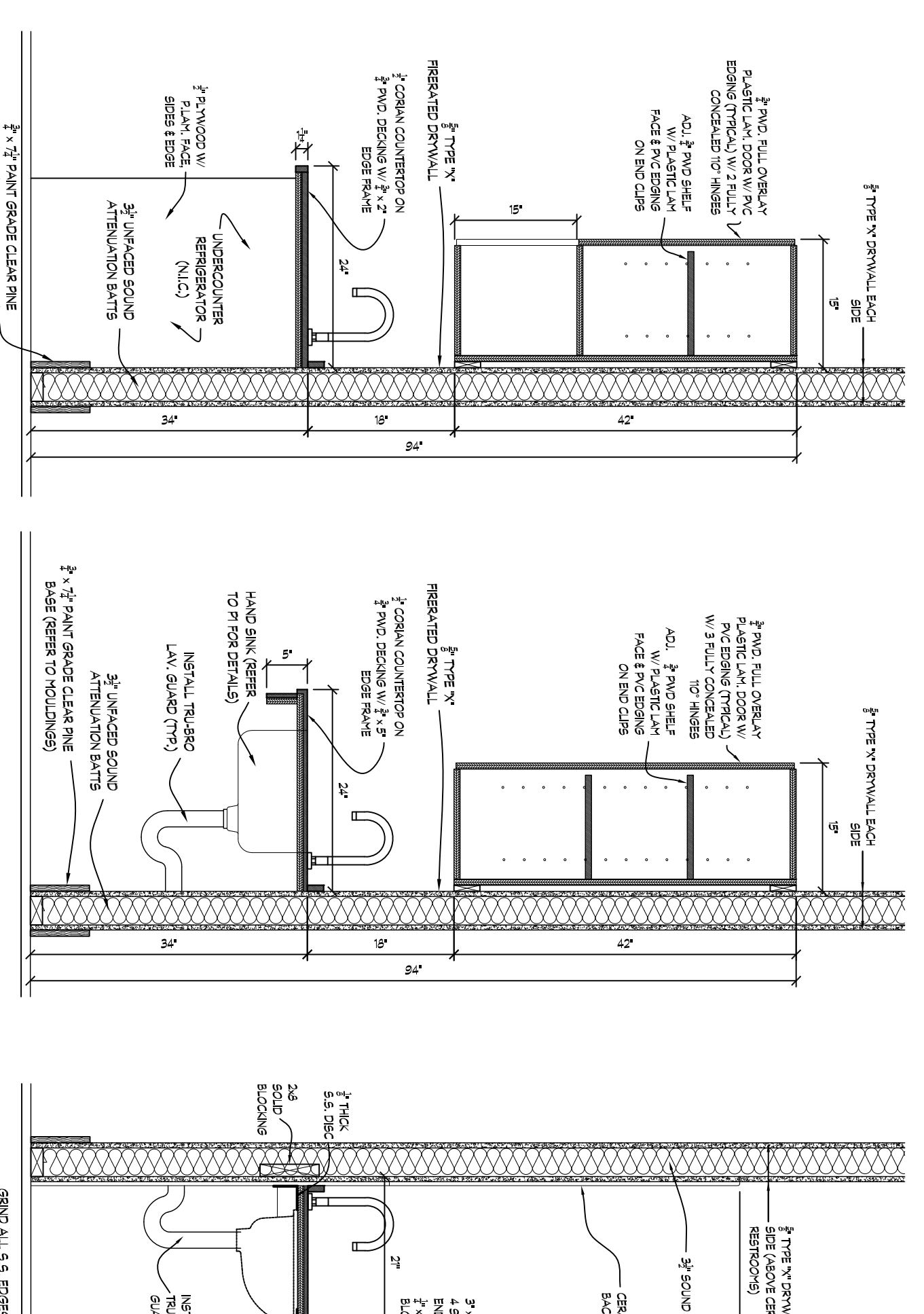
9 SECTION @ CEILING SUITE 10
Scale: 3/4" = 1'-0"



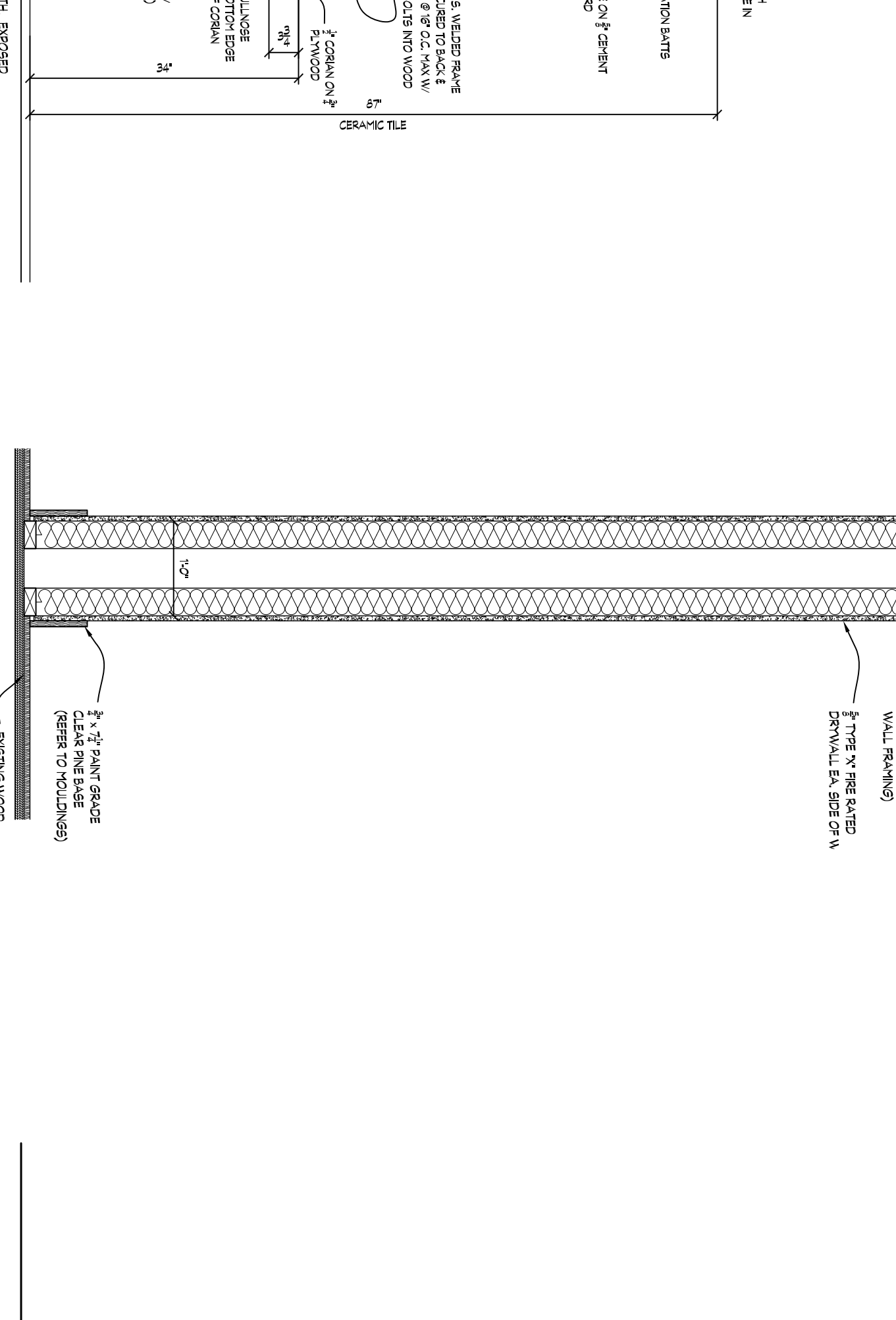
10 SECTION @ CEILING SUITE 11
Scale: 3/4" = 1'-0"



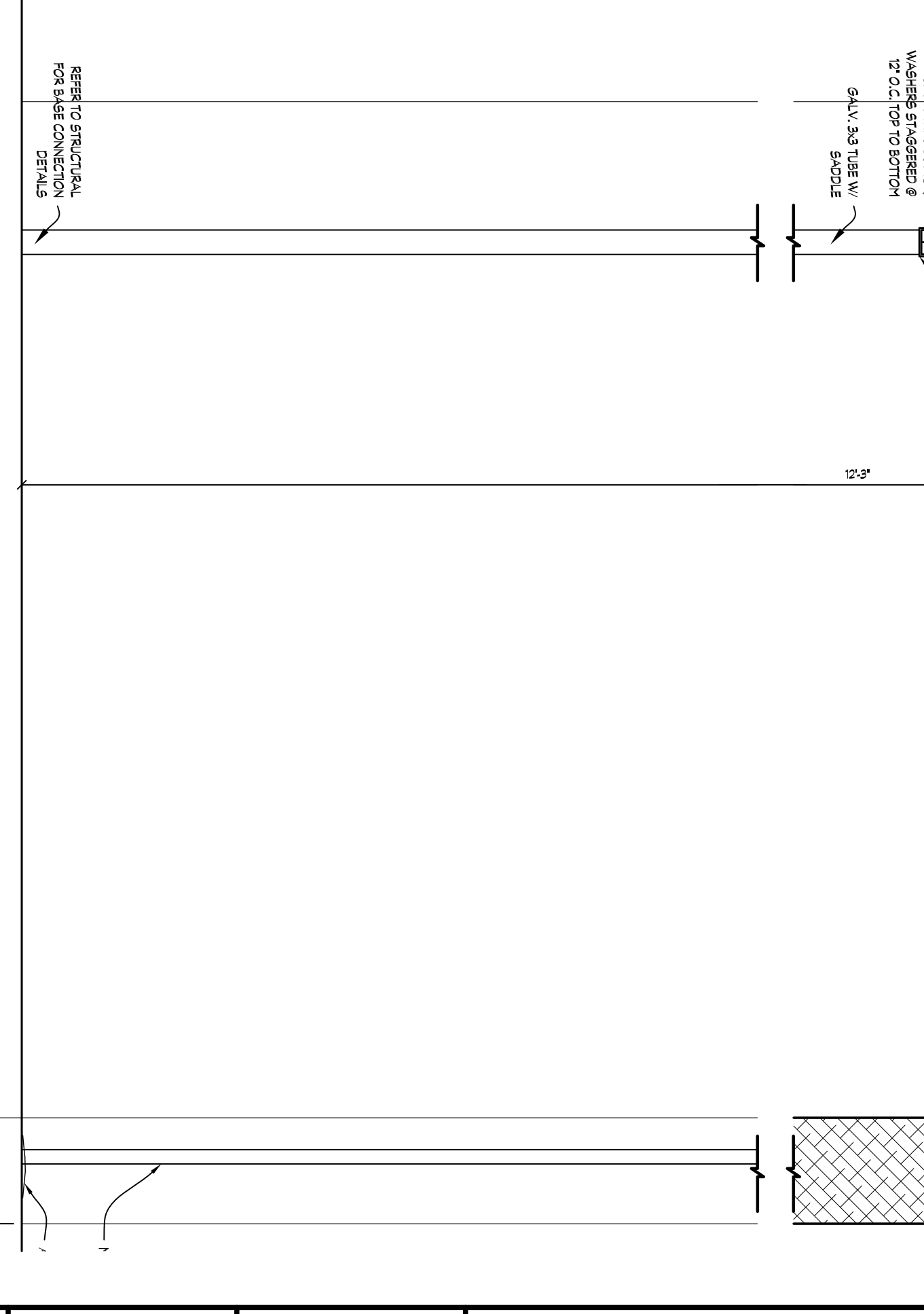
11 SECTION @ CEILING SUITE 14
Scale: 3/4" = 1'-0"



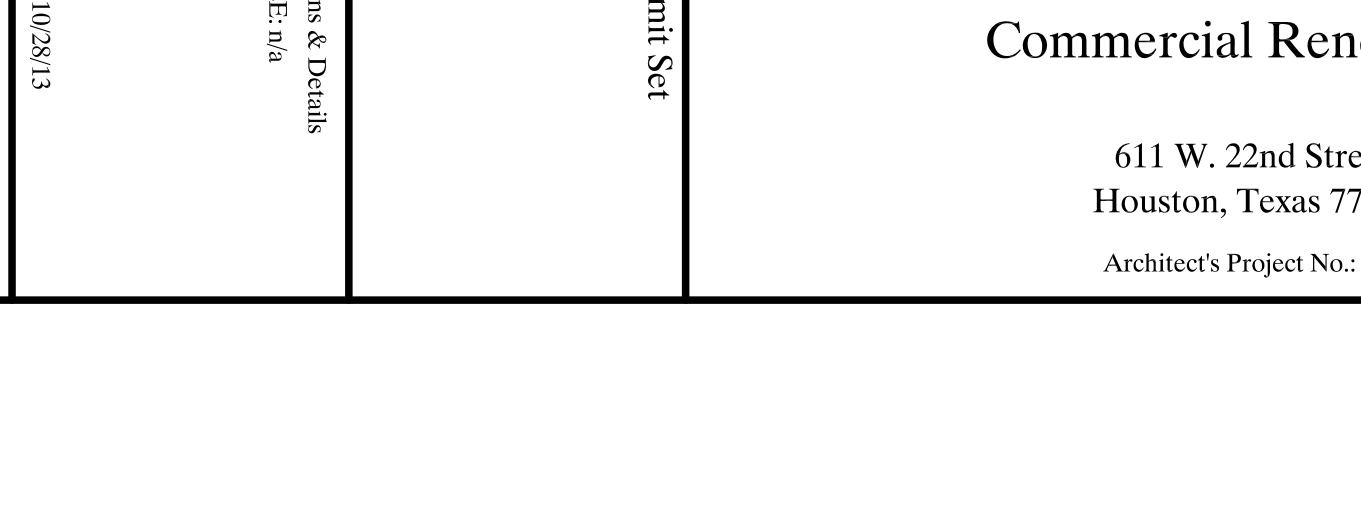
8 TYP. SECTION DETAIL @ OFFICE COFFEE COUNTER
Scale: 3/4" = 1'-0"



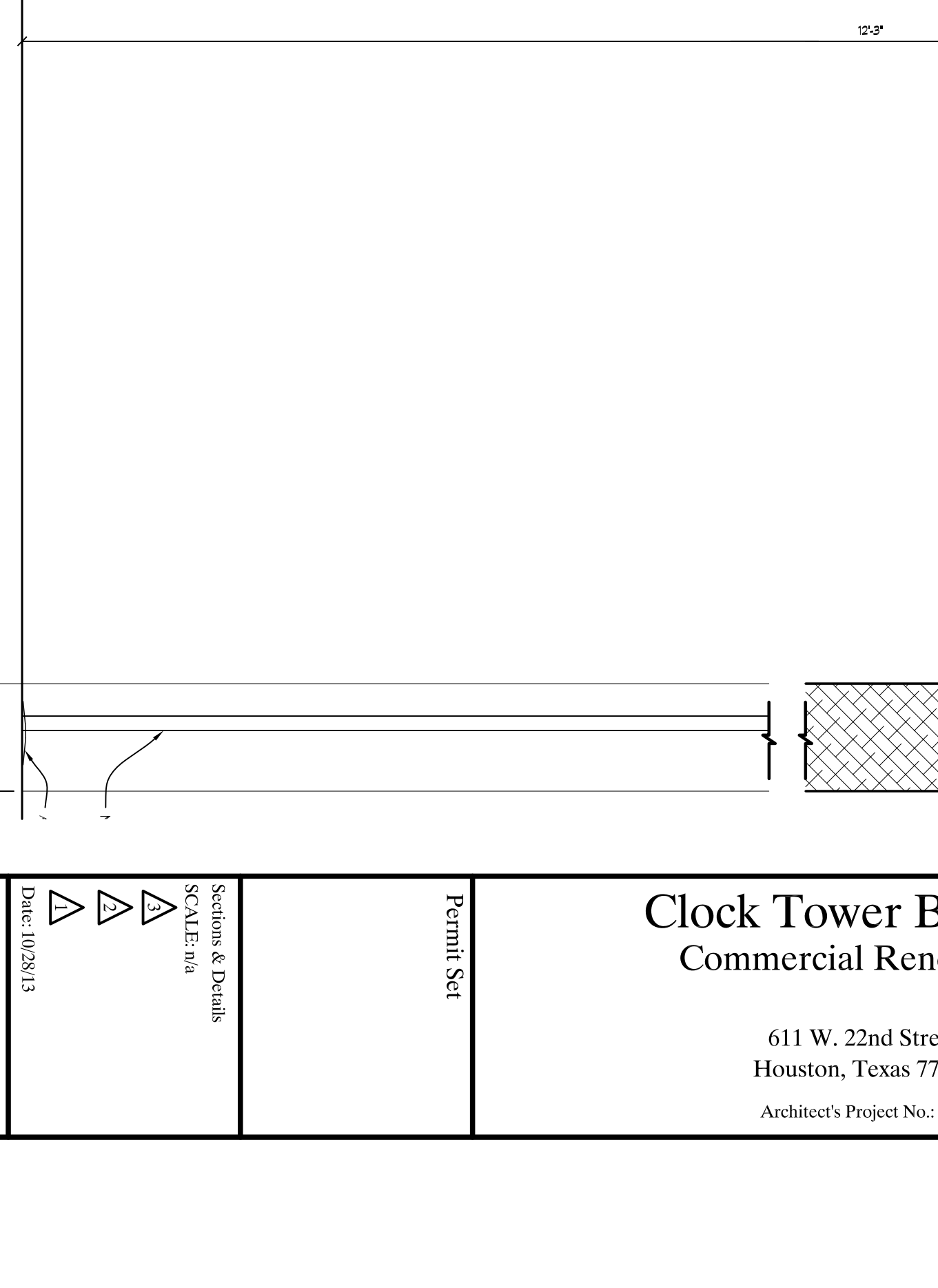
9 TYP. SECTION DETAIL @ OFFICE COFFEE COUNTER
Scale: 3/4" = 1'-0"



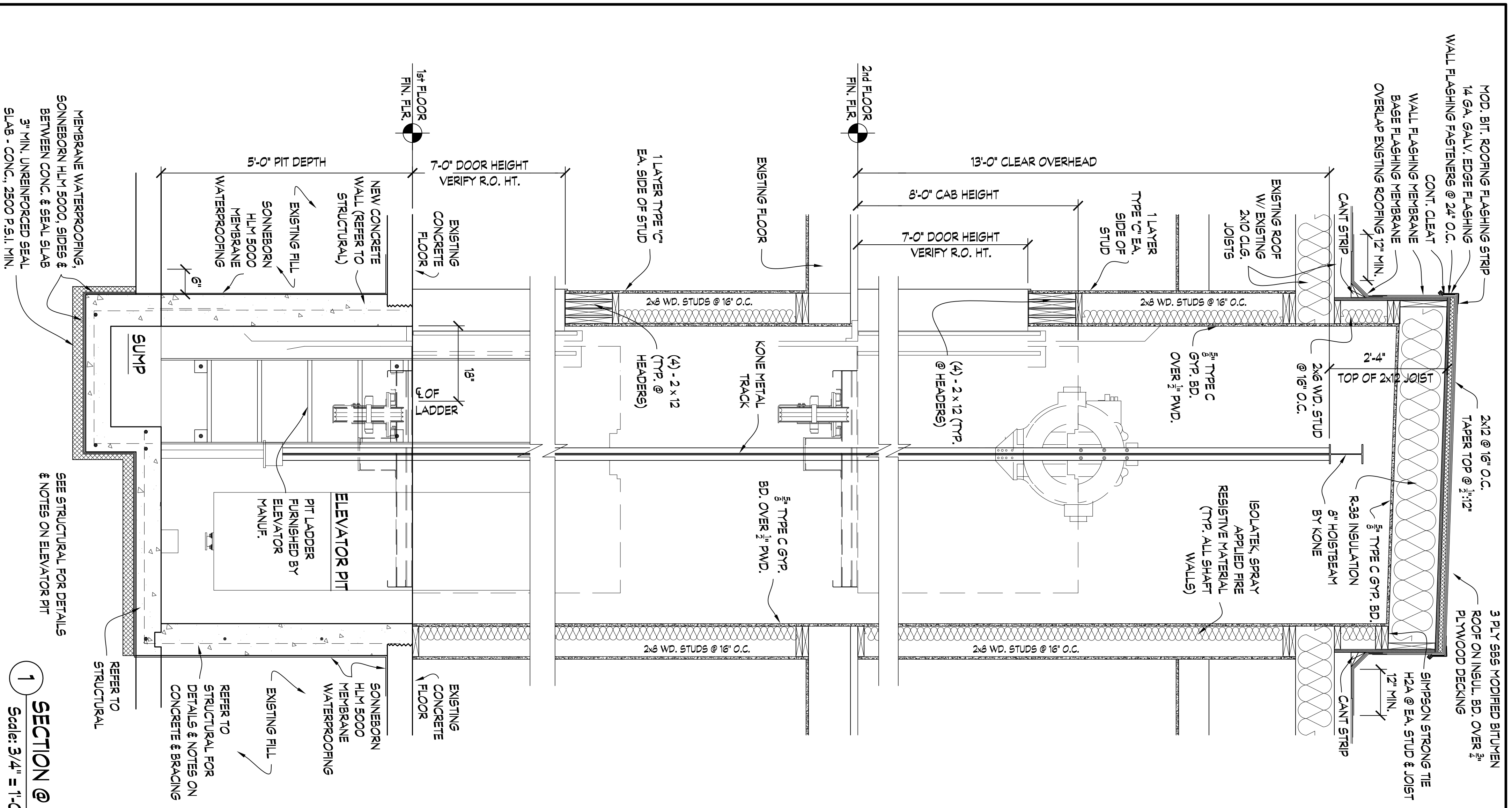
10 TYP. SECTION DETAIL @ RESTROOM WASH COUNTER
Scale: 3/4" = 1'-0"



11 SECTION DETAIL @ SUITE 9 HALLWAY WALLS
Scale: 3/4" = 1'-0"



14 SECTION DETAIL @ NEW CANOPY @ WEST EXIT
Scale: 3/4" = 1'-0"



- ELEMENT 8: ELEVATORS**
- 4.10.1 General
Elevators shall comply with ASME/ANSI A17.1-1996, Safety Code for Elevators and Escalators. Elevators shall not be considered as meeting the requirements of this section unless the only elevators provided are used as combination passenger and freight elevators for the public and employees.
- 4.10.2 Automatic Operation
Elevator operation shall be automatic.
Each car shall have a self-resetting feature that will automatically bring the car to floor level and stop the car when the self-resetting feature is activated.
The self-resetting feature shall be automatic and independent of the operating device and shall correct for undertravel and overtravel.
- 4.10.3 Hall Call Buttons
Buttons shall be mounted 42" above floor.
Buttons shall be recessed or flush.
Buttons shall be recessed or flush.
Objects mounted beneath buttons shall not project more than 4" from the wall.
- 4.10.4 Hall Lanterns
A visible and audible signal shall be provided at each hoistway entrance to indicate which car is answering a call.
Audible signals shall sound once for "up," twice for "down," or shall have verbal annunciators that say "up" or "down."
Audible signals shall have the following features:
1. Features shall be mounted with a maximum height of 72" above the lobby floor.
2. Visual elements shall be at least 2-1/2" in the smallest dimension.
3. Signals shall be visible from the vicinity of the hall call button.
- In-car lanterns conforming with the above requirements, shall be acceptable.
- 4.10.5 4.30.4 Characters on Hoistway Entrances
Characters shall be centered 60" above finish floor.
Characters shall be 2" high, raised 1/32", upper case, sans serif or simple serif type, and shall be accompanied by Grade 2 Braille.
- 4.10.6 4.10.3(0) Door Protective and Reopening Device
Door shall open and close normally.
Door shall not open or close if the door is not fully closed and latched.
The device shall be capable of completing these operations without requiring contact for an obstruction passing through the opening at heights of 5" and 29" above finish floor.
Door reopening device shall remain effective for at least 20 seconds. After such interval, doors may close in accordance with ASME/ANSI A17.1-1996.
- 4.10.7 Door and Signal Timing for Hall Calls
The minimum acceptable time for notification that a car is answering a call until doors begin to close shall be calculated as follows:
 $T = D(1.5 \text{ ft/s}) + T = D(445 \text{ mms})$
 $T = \text{time in seconds}$
 $D = \text{distance (in ft or mm) from point 60" directly in front of finished call button to centerline of hoistway door.}$
The minimum acceptable notification time shall be 5 seconds.
- 4.10.8 Door Delay for Car Calls
The minimum time for elevator doors to remain fully open in response to a call shall be 3 seconds.
- 4.10.9 4.10.3(0) Floor Plans of Elevator Cars
Shall provide space for wheelchair users to enter the car, maneuver within reach of doors and provide 36" clear minimum.
Doors shall provide 36" clear minimum.
Cab depth: 51" minimum, with 54" minimum from rear of cab to inside face of door.
Cab width: side opening door-68" minimum. Center opening door-80" minimum.
Clearance between car platform sill and edge of hoistway landing shall be 1-1/4" maximum.
- 4.10.10 4.5 Floor Surfaces
Shall be firm, stable and slip-resistant.
It shall be tested and shall show the following features:
A firm cushion, pad, or backing (or none);
A level loop, textured loop, level cut pile or level cut/curtain pile texture;
Maximum pile thickness: 1/2"
Exposed edges fastened to floor surfaces with carpet edge trim.
- 4.10.11 Illumination Levels
Shall be tested and shall show the following features:
A level loop, textured loop, level cut pile or level cut/curtain pile texture;
Maximum pile thickness: 1/2"
Exposed edges fastened to floor surfaces with carpet edge trim.
- 4.10.12(1) Car Controls
Size: 3/4" minimum in least dimension.
Buttons shall be recessed or flush.
- 4.10.12(2) Car Controls
Control indicators
All control buttons shall be designated by Braille and by raised standard alphabet characters for letters, arabic symbols for numerals, or standard symbols as required in ASME/ANSI A17.1-1996, Section 4.5.1.1. Buttons shall be 1/2" high, raised 1/32", upper case, sans serif or simple serif type, and shall be accompanied by Grade 2 Braille.
All raised designations shall be immediately left of the button to which they apply.
Floor buttons shall be provided with visual signals which light when each call is registered and extinguish when each call is answered.
All floor buttons shall be minimum 54" above floor where side approach is provided.
Buttons shall be tested and shall show the following features:
A firm cushion, pad, or backing (or none);
A level loop, textured loop, level cut pile or level cut/curtain pile texture;
Maximum pile thickness: 1/2"
Exposed edges fastened to floor surfaces with carpet edge trim.
- 4.10.13 Car Position Indicators
A visual car position indicator shall be provided above the car control panel or above the door.
As the car passes or stops at a floor, the corresponding numbers shall illuminate and an audible signal shall sound.
Audible signal shall be no less than 20 decibels with frequency no higher than 1500 Hz.
An automatic verbal announcement of the floor number may be substituted for the audible signal.
- 4.10.14 Emergency Communication
If provided, emergency two-way communication systems between the elevator and a point outside the hoistway shall comply with ASME/ANSI A17.1-1996.
Highest operable part of system shall be minimum 48" from floor.
System shall be identified by raised symbol and lettering located adjacent to the emergency communication system.
Simple serif type shall be accompanied by Grade 2 Braille.
If system uses a handset, minimum cord length shall be 29".
If located in a closed compartment, door shall be operable with one hand, shall not require tight grasping, pinching, or twisting of the wrist, and shall require a maximum force of 30 lbs.
Emergency communication system shall not require voice communication. (Voice only system is inacceptable to persons with speech or hearing impairments).

- ELEVATOR SPECIFICATIONS:**
- CONTRACTOR TO SUPPLY & INSTALL KONE ECOSPACE ELEVATOR
CAPACITY: 2,500 #
SPEED: 150 FPM
CAR HEIGHT: 8'-0"
ENTRANCE HEIGHT: 7'-0"
- CEILING TO BE LF-94 (STAINLESS STEEL, SATIN FINISH W/ 15 FLUORESCENT 110) HANDRAIL TO BE #2 PLAT (STAINLESS STEEL, SATIN FINISH)
WALLS TO BE SELECTED FROM STANDARD CAB FINISHES
SIGNALIZATION TO BE 1055 STD FLUSH & STANDARD HALL STATIONS (PROVIDE SHOP DRAWINGS & FINISH OPTIONS FOR APPROVAL)



<p>1 SECTION @ ELEVATOR</p> <p>Scale: 3/4" = 1'-0"</p>	<p>Clock Tower Building Commercial Renovation</p> <p>611 W. 22nd Street Houston, Texas 77008</p> <p>Architect's Project No.: 130104</p>	<p>David Watson, Architect & Associates</p> <p>1921 Market Street Galveston, Texas 77550 409-762-8000 (Voice) 409-762-5256 (Facsimile)</p> <p>Architecture, Renovation/Restoration, and Space Planning</p>	<p>Nonya Grenader FAIA ARCHITECT</p>
<p>Permit Set</p>	<p>Sections & Details</p> <p>SCALE: 3/4" = 1'-0"</p> <p>Date: 10/28/13</p>	<p>A3.4</p>	

DOOR SCHEDULE

NO.	LOCATION	TYPE	SIZE (INH)	MANUFACTURER & DESCRIPTION	HARDWARE
01	ENTRY LOBBY (20)	ENGINING	ENGINING		ENGINING HARDWARE
02	STAR LOBBY	ENGINING	ENGINING		ENGINING SLIDING DOOR - TO BE PERMANENTLY RIPPED IN OPEN POSITION
03	STAR LOBBY (20.1)	F	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #1 (SERVICE)
04	SERVICE DOOR (KITCHEN BANKS)	H	36" x 86" x 1 1/2"	HOT TOP GALV. STEEL DOOR & FRAME W/ THERMAFLEX 6" x 42" LITE W/ HIGH GALV. INSULATION JAMB. 1 1/2" THICK	HARDWARE SET #1 (SINGLE FIRE ENIT)
05	NOT USED				
06	RESTROOM (20)	ENGINING	ENGINING		ENGINING
07	RESTROOM (20)	ENGINING	ENGINING		ENGINING
08	SERVICE ENTRY (20)	G	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 15A, WIDE LAYOUT, PAINT GRADE EXTERIOR DOOR W/ UPPER TEMP. GLASS LITE	HARDWARE SET #1 (SINGLE FIRE ENIT)
09	WEST STAIR ENT (3-20)	ENGINING	ENGINING		HARDWARE SET #1 (SINGLE ENGINING FIRE ENIT)
10	NOT USED				
11	NOT USED				
12	ENGINING (20)	ENGINING	ENGINING		ENGINING SLIDING DOOR - TO BE PERMANENTLY RIPPED IN OPEN POSITION
13	APT. ENTRY (25)	A	RR 42" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #1 (SUITE ENTRY DOOR)
13a	APT. CLOSET (25)	D	36" x 64" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #4 (P916A5B)
14	PRIVATE STAIRS	ENGINING	ENGINING		ENGINING HARDWARE
15	ENGINING	ENGINING	ENGINING		ENGINING SLIDING DOOR - TO BE PERMANENTLY RIPPED IN CLOSED POSITION
16	SUITE 1 - OFFICE (20.1)	D	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #2 (OFFICE)
17	SUITE 1 - CLOSET (20.1)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
18	SUITE 1 - A/C (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
19	SUITE 1 - OFFICE (20.1)	D	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #2 (OFFICE)
20	SUITE 1 - ENTRY (20)	C	36" x 86" x 1 1/2" W/ TRANSOM	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
21	SUITE 2 - ENTRY (20)	C	36" x 86" x 1 1/2" W/ TRANSOM	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
22	SUITE 2 - A/C (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
23	NOT USED				
23	SUITE 2 - CLOSET (20.2)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, WIDE LAYOUT, PAINT GRADE INTERIOR	HARDWARE SET #4 (P916A5B)
25	STARWELL 4 (3-04)	ENGINING	ENGINING		ENGINING SLIDING DOOR - TO BE PERMANENTLY RIPPED IN CLOSED POSITION
26	SUITE 3 - OFFICE (20)	D	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #2 (OFFICE)
27	SUITE 3 - A/C (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
28	SUITE 3 - CLOSET (20.2)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
29	SUITE 3 - ENTRY (20)	C	36" x 86" x 1 1/2" W/ TRANSOM	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
30	SUITE 4 - CLOSET (20.4)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
31	SUITE 4 - A/C (20.4)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
32	SUITE 4 - OFFICE (20.4)	D	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #2 (OFFICE)
33	SUITE 4 - ENTRY (20.4)	C	36" x 86" x 1 1/2" W/ TRANSOM	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
34	SUITE 5 - ENTRY (20)	C	36" x 86" x 1 1/2" W/ TRANSOM	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
35	SUITE 5 - CLOSET (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
36	SUITE 5 - A/C (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
37	SUITE 5 - OFFICE (20)	D	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #2 (OFFICE)
38	SUITE 6 - OFFICE (20.1)	D	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #2 (OFFICE)
39	SUITE 6 - A/C (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
40	SUITE 6 - CLOSET (20.2)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
41	SUITE 6 - ENTRY (20)	C	36" x 86" x 1 1/2" W/ TRANSOM	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
42	SUITE 7 - ENTRY (20)	C	36" x 86" x 1 1/2" W/ TRANSOM	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
43	FR STARWELL (3-0)	ENGINING	ENGINING		ENGINING SLIDING DOOR - NO NEW HARDWARE
44	SUITE 7 - OFFICE (20.1)	ENGINING	ENGINING		ENGINING SLIDING DOOR - NO NEW HARDWARE
45	SUITE 7 - OFFICE (20.1)	C	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #2 (OFFICE REFER TO SET #4, TO #4.2)
46	SUITE 7 - CLOSET (20.2)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
47	SUITE 7 - A/C (20.2)	J	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR W/ RUA FILTER GALL IN LOWER PANEL	HARDWARE SET #4 (P916A5B)
48	NOT USED				
49	SUITE 8 - ENTRY (20)	C	36" x 86" x 1 1/2" W/ TRANSOM	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
50	SUITE 8 (20)	ENGINING	ENGINING		ENGINING SLIDING DOOR - NO NEW HARDWARE
51	SUITE 8 - OFFICE (20.2)	D	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS	HARDWARE SET #2 (OFFICE)

NO.	LOCATION	TYPE	SIZE (INH)	MANUFACTURER & DESCRIPTION	HARDWARE
52	SUITE 8 - A/C (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
53	SUITE 8 - CLOSET (20.1)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
54	SUITE 9 - CLOSET (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
55	SUITE 9 - A/C (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #4 (P916A5B)
56	SUITE 9 - OFFICE (20)	D	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, PAINT GRADE INTERIOR	HARDWARE SET #2 (OFFICE)
57	SUITE 9 - ENTRY (20)	C	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 150, WIDE LAYOUT, PAINT GRADE INTERIOR, P916 THERPED GLASS W/ CUSTOM TRANSOM	HARDWARE SET #1 (OFFICE SUITE ENTRY)
58	VOICE DATA ROOM (21)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #12 (SERVICE)
59	VOICE DATA ROOM - A/C (21)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #3 (P916A5B)
60	WORKERS RESTROOM (22)	B	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #5 (RESTROOM)
61	ELEVATOR ROOM (23)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #12 (SERVICE)
62	NEWS RESTROOM (24)	B	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #5 (RESTROOM)
63	APARTMENT (20)		36" x 86" x 1 1/2"	ENGINING	ENGINING
64	APARTMENT (20)	A	36" x 86" x 1 1/2"	SIMPSON DOORS, TYPE 20, PAINT GRADE INTERIOR WIDE LAYOUT	HARDWARE SET #9 (P916A5C)
65	APARTMENT (20)		36" x 86" x 1 1/2"	ENGINING	ENGINING
66	APARTMENT (20) CLOSET	A	36" x 86" x 1 1/2"	ENTERIOR SOLID CORE FLUSH FACE WD. DOOR, PAINT GRADE TO BE INSTALLED @ ENGINING WINDOW LOCATION (SEE DOOR PLAN)	HARDWARE SET #4 (P916A5B)
67	ROOF ACCESS DOOR		36" x 86" x 1 1/2"		HARDWARE SET #11

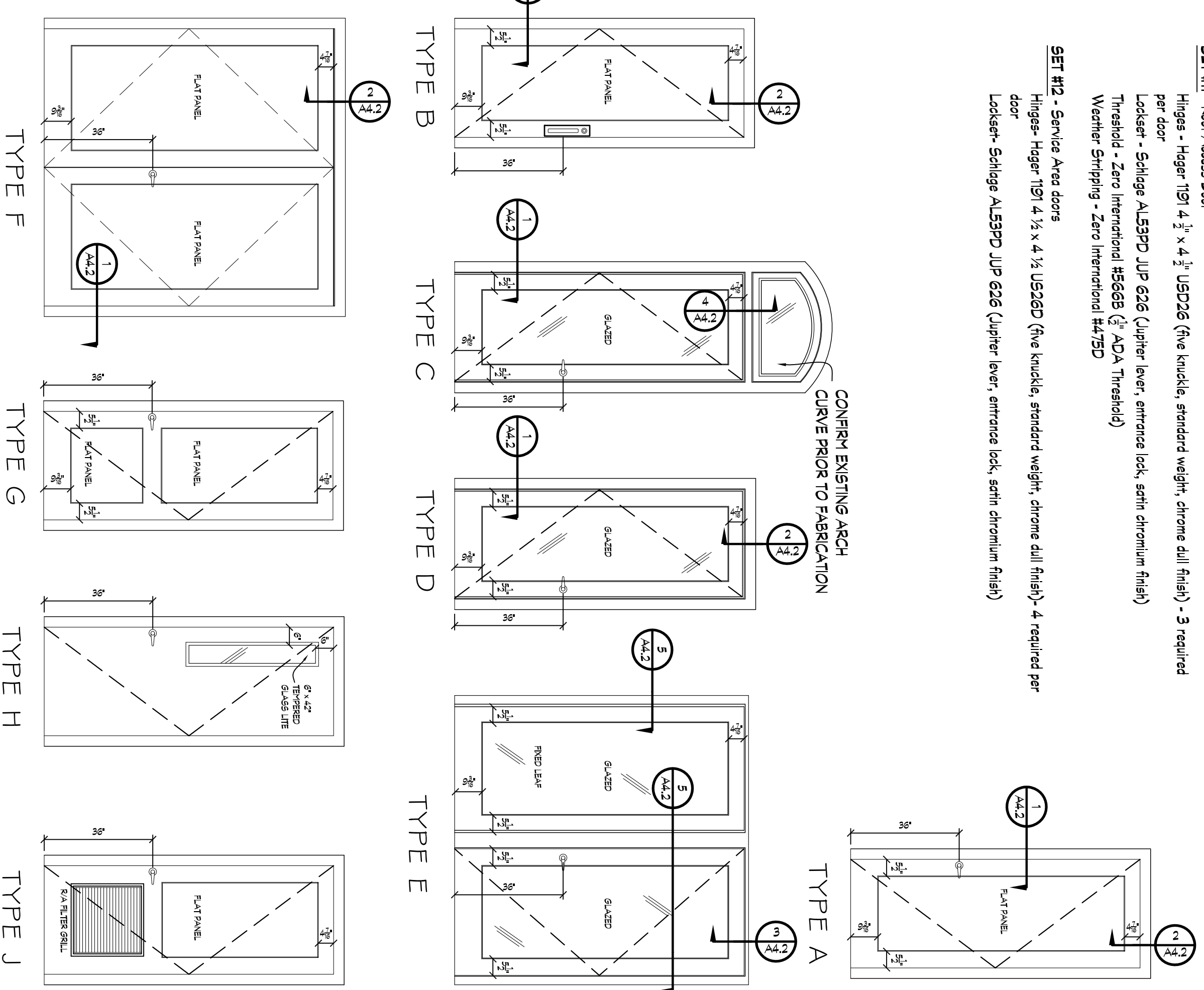
HARDWARE SETS:

SET #1 - Office Suite Entry doors

- Hinges - Higer B51191 4 1/2 x 4 1/2 US26D (the knuckle, ball bearing, standard weight, chrome dull finish) - 4 required per door
 - Lockset - Schlage A153PD JUP 626 (Jupiter lever, entrance lock, satin chromium finish)
 - Floor Stop - Vax F5443 US626 (chrome dull finish), coordinate placement with architect
- SET #2 - Office doors**
- Hinges - Higer 191 4 1/2 x 4 1/2 US26D (the knuckle, ball bearing, standard weight, chrome dull finish) - 4 required per door
 - Lockset - Schlage A153PD JUP 626 (Jupiter lever, entrance lock, satin chromium finish)
 - Floor Stop - Vax F5443 US626 (chrome dull finish), coordinate placement with architect
- SET #3 - Passage doors**
- Hinges - Higer 191 4 1/2 x 4 1/2 US26D (the knuckle, standard weight, chrome dull finish) - 4 required per door
 - Lockset - Schlage A105 JUP 626 (Jupiter lever, passage lock, satin chromium finish)
- SET #4 - Passage doors**
- Hinges - Higer 191 4 1/2 x 4 1/2 US26D (the knuckle, standard weight, chrome dull finish) - 4 required per door
 - Lockset - Schlage A105 JUP 626 (Jupiter lever, passage lock, satin chromium finish)
 - Floor Stop - Vax F5443 US626 (chrome dull finish), coordinate placement with architect
- SET #5 - Restroom doors**
- Hinges - Higer B51191 4 1/2 x 4 1/2 US26D (the knuckle, ball bearing, standard weight, chrome dull finish) - 4 required per door
 - Lockset - Schlage B563 (Classroom deadbolt)
 - Floor Stop - Vax F5443 US626 (chrome dull finish), coordinate placement with architect
 - Clear - LCN 126172 Series (finger pull slide mounting with cover, custom powder coat to be determined)
 - Push plate - Vax B200 CFT US26 D (8 1/8" x 8" with cutout for thumb turn/deadbolt, chrome dull finish) - 2 per door
 - Pull - Vax S1032Z - 8" US26D (1" diameter x 8" center to center door pull, chrome dull finish) - 1 required per door
- SET #6 - Not Used**
- SET #7 - Single Fire Exit doors (Verify handling)**
- Hinges - Higer B51191 4 1/2 x 4 1/2 US26D (the knuckle, ball bearing, standard weight, chrome dull finish) - 4 required per door
 - Exit Device - Vax Dupin 5575-5 371L #07 lever US26D (90 minute fire exit mortise lock device, #07 lever with lever lock, chrome dull finish)
 - Clear - LCN 126172 Series with 1260-18 (top jamb push slide mounting with pipe and cover, custom powder coat to be determined)
 - Electronic Keypad Device and Door Release - To be determined
 - Threshold - Zero International H526B (1/2" ADA Threshold)
 - Weather Striping - Zero International H475D
- SET #8 - Single Exterior Fire Exit doors (Verify handling)**
- Hinges - Higer B51191 4 1/2 x 4 1/2 US26D (the knuckle, ball bearing, standard weight, chrome dull finish) - 4 required per door
 - Exit Device - Vax Dupin 5575-5 371L #07 lever US26D (90 minute fire exit mortise lock device, #07 lever with lever lock, chrome dull finish)
 - Clear - LCN 126172 Series with 1260-18 (top jamb push slide mounting with pipe and cover, custom powder coat to be determined)
 - Electronic Keypad Device and Door Release - To be determined
 - Threshold - Zero International H526B (1/2" ADA Threshold)
 - Weather Striping - Zero International H475D
- SET #9 - Privacy doors**
- Hinges - Higer 191 4 1/2 x 4 1/2 US26D (the knuckle, standard weight, chrome dull finish) - 4 required per door
 - Lockset - Schlage A105 JUP 626 (Jupiter lever, passage lock, satin chromium finish)
 - Floor Stop - Vax F5443 US626 (chrome dull finish)

- SET #10 - Single Fire doors (Verify handling)**
 - Hinges - Higer B51191 4 1/2 x 4 1/2 US26D (the knuckle, ball bearing, standard weight, chrome dull finish) - 4 required per door
 - Lockset - Schlage A153PD JUP 626 (Jupiter lever, entrance lock, satin chromium finish)
 - Floor Stop - Vax F5443 US626 (chrome dull finish)
 - Clear - LCN 126172 Series (finger pull slide mounting with cover, custom powder coat to be determined)
- SET #11 - Roof Access Door**
- Hinges - Higer 191 4 1/2 x 4 1/2 US26C (the knuckle, standard weight, chrome dull finish) - 3 required per door
 - Lockset - Schlage A153PD JUP 626 (Jupiter lever, entrance lock, satin chromium finish)
 - Threshold - Zero International H566B (1/2" ADA Threshold)
 - Weather Striping - Zero International H475D
- SET #12 - Service Area doors**
- Hinges - Higer 191 4 1/2 x 4 1/2 US26D (the knuckle, standard weight, chrome dull finish) - 4 required per door
 - Lockset - Schlage A153PD JUP 626 (Jupiter lever, entrance lock, satin chromium finish)

DOOR TYPES:



NOTE: PROVIDE CUT SHEETS & FINISH SAMPLES FOR APPROVAL PRIOR TO ORDERING HARDWARE OR DOORS. ALTERNATE MANUFACTURERS MAY BE SUBMITTED SUBJECT TO ARCHITECT'S APPROVAL.

WINDOW SCHEDULE

NO.	ROOM NUMBER	TYPE	SIZE (NON)	MANUFACTURER & DESCRIPTION
01	101	2	37" x 83"	(VEBER EXACT SIZE) RE GROUP 4
01	215	1	48 1/2" x 81"	RE GROUP 1
02	215	1	48 1/2" x 81"	RE GROUP 1
03	215	1	48 1/2" x 81"	RE GROUP 1
04	215	1	48 1/2" x 81"	RE GROUP 1
05	215	1	48 1/2" x 81"	RE GROUP 1
06	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
07	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
08	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
09	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
10	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
11	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
12	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
13	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
14	201	2	37" x 83"	RE GROUP 3 (VEBER EXACT SIZE)
15	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
16	201	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
17	202	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
18	202	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
19	202	2	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
20	203	3	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
21	203	3	37" x 83"	RE GROUP 4 (VEBER EXACT SIZE)
22	203	4	37" x 83"	RE GROUP 3
23	203	4	37" x 83"	RE GROUP 3
24	203	4	37" x 83"	RE GROUP 3
25	203	4	37" x 83"	RE GROUP 1
26	203	4	37" x 83"	RE GROUP 6
28	203	4	37" x 83"	RE GROUP 6
27	203	4	37" x 83"	RE GROUP 1
28	203	4	37" x 83"	RE GROUP 3
29	203	4	37" x 83"	RE GROUP 3
30	204	4	37" x 83"	RE GROUP 3
31	204	4	37" x 83"	RE GROUP 3
32	204	4	37" x 83"	RE GROUP 3
33	204	4	37" x 83"	RE GROUP 3
34	205	4	37" x 83"	RE GROUP 3
35	205	4	37" x 83"	RE GROUP 3
36	205	4	37" x 83"	RE GROUP 3
37	205	4	37" x 83"	RE GROUP 3
38	206	4	37" x 83"	RE GROUP 3
39	206	4	37" x 83"	RE GROUP 3
40	206	4	37" x 83"	RE GROUP 3
41	206	4	37" x 83"	RE GROUP 3
42	207	4	37" x 83"	RE GROUP 3
43	207	4	37" x 83"	RE GROUP 3
44	207	4	37" x 83"	RE GROUP 3
46	207	4	37" x 83"	RE GROUP 1
46	207	4	37" x 83"	RE GROUP 6
47	207	4	37" x 83"	RE GROUP 6
48	207	4	37" x 83"	RE GROUP 6
49	207	4	37" x 83"	RE GROUP 1
50	207	4	37" x 83"	RE GROUP 1

NO.	ROOM NUMBER	TYPE	SIZE (NON)	MANUFACTURER & DESCRIPTION
51	207	4	37" x 83"	RE GROUP 1
52	207	4	37" x 83"	RE GROUP 1
53	210	6	36" x 42"	RE GROUP 2
54	210	6	36" x 42"	RE GROUP 2
55	210	6	36" x 42"	RE GROUP 2
56	210	6	36" x 42"	RE GROUP 2
57	208	6	36" x 42"	RE GROUP 2
58	208	6	36" x 42"	RE GROUP 2
59	208	6	36" x 42"	RE GROUP 2
60	208	6	36" x 42"	RE GROUP 2
61	208	6	36" x 42"	RE GROUP 2
62	208	4	37" x 83"	RE GROUP 1
63	208	4	37" x 83"	RE GROUP 1
64	208	4	37" x 83"	RE GROUP 1
65	208	4	37" x 83"	RE GROUP 1
66	208	4	37" x 83"	RE GROUP 1
67	208	4	37" x 83"	RE GROUP 1
68	208	4	37" x 83"	RE GROUP 1
69	209	4	37" x 83"	RE GROUP 1
70	209	4	37" x 83"	RE GROUP 1
71	209	4	37" x 83"	RE GROUP 1
72	209	4	37" x 83"	RE GROUP 1
73	209	4	37" x 83"	RE GROUP 1
74	209	4	37" x 83"	RE GROUP 1
75	200	2 (8'x1)	36" x 84"	RE GROUP 4 (VEBER EXACT SIZE)
76	207	4	36" x 84"	EXISTING INTERIOR WINDOWS - RE GROUP 4
77	206	4	36" x 84"	EXISTING INTERIOR WINDOWS - RE GROUP 4
78	206	4	36" x 84"	EXISTING INTERIOR WINDOWS - RE GROUP 4
79	206	4	36" x 84"	EXISTING INTERIOR WINDOWS - RE GROUP 4
80	206	4	36" x 84"	EXISTING INTERIOR WINDOWS - RE GROUP 4
81	206	4	36" x 84"	EXISTING INTERIOR WINDOWS - RE GROUP 4
82	209	6	36" x 84"	REMOVE EXISTING STEEL FRAMED WINDOW FROM STRUCTURE - RE GROUP 4 (REMOVE DURING PERM)
83	209	6	36" x 84"	REMOVE EXISTING STEEL FRAMED WINDOW FROM STRUCTURE - RE GROUP 4 (REMOVE DURING PERM)
84	200	1	48 1/2" x 81"	RE GROUP 1
85	200	1	48 1/2" x 81"	RE GROUP 1
86	200	1	48 1/2" x 81"	RE GROUP 1
87	200	1	48 1/2" x 81"	RE GROUP 1
88	200	1	48 1/2" x 81"	RE GROUP 1
89	200	1	48 1/2" x 81"	RE GROUP 1
90	200	1	48 1/2" x 81"	RE GROUP 1
91	200	1	48 1/2" x 81"	RE GROUP 1
92	400	1	48 1/2" x 81"	RE GROUP 1
93	400	1	48 1/2" x 81"	RE GROUP 1
94	400	1	48 1/2" x 81"	RE GROUP 1
95	400	1	48 1/2" x 81"	RE GROUP 1
96	400	1	48 1/2" x 81"	RE GROUP 1
97	400	1	48 1/2" x 81"	RE GROUP 1
98	500	7	57" x 19 1/2"	EXISTING GLAZIIONER WINDOW - RE GROUP 6
99	500	7	57" x 19 1/2"	EXISTING GLAZIIONER WINDOW - RE GROUP 6
100	500	7	57" x 19 1/2"	EXISTING GLAZIIONER WINDOW - RE GROUP 6
101	500	7	57" x 19 1/2"	EXISTING GLAZIIONER WINDOW - RE GROUP 6
102	502	1	48 1/2" x 81"	RE GROUP 1
103	502	1	48 1/2" x 81"	RE GROUP 1
104	502	1	48 1/2" x 81"	RE GROUP 1
105	502	1	48 1/2" x 81"	RE GROUP 1
106	502	1	48 1/2" x 81"	RE GROUP 1
107	502	1	48 1/2" x 81"	RE GROUP 1
108	502	1	48 1/2" x 81"	RE GROUP 4 (VEBER EXACT SIZE)
109	502	1	48 1/2" x 81"	RE GROUP 1

WINDOW REPAIR NOTES:

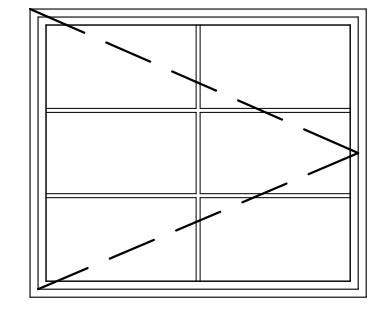
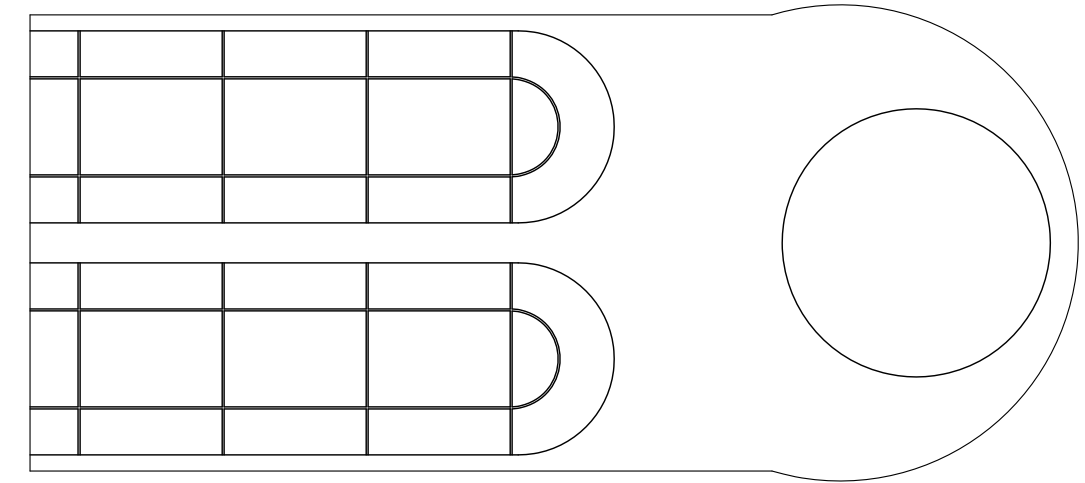
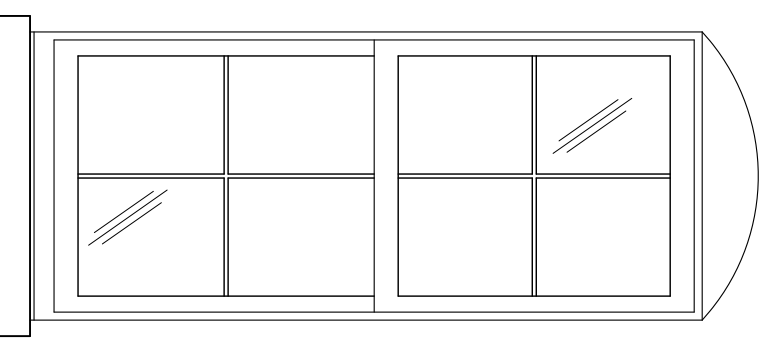
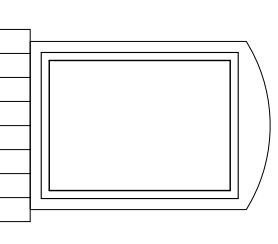
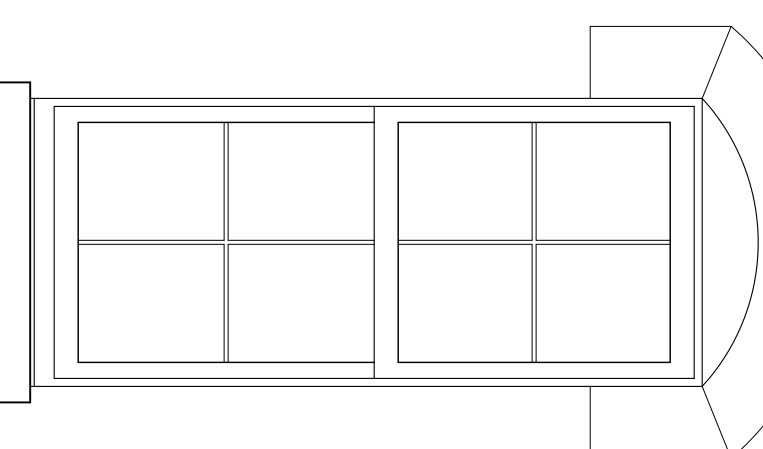
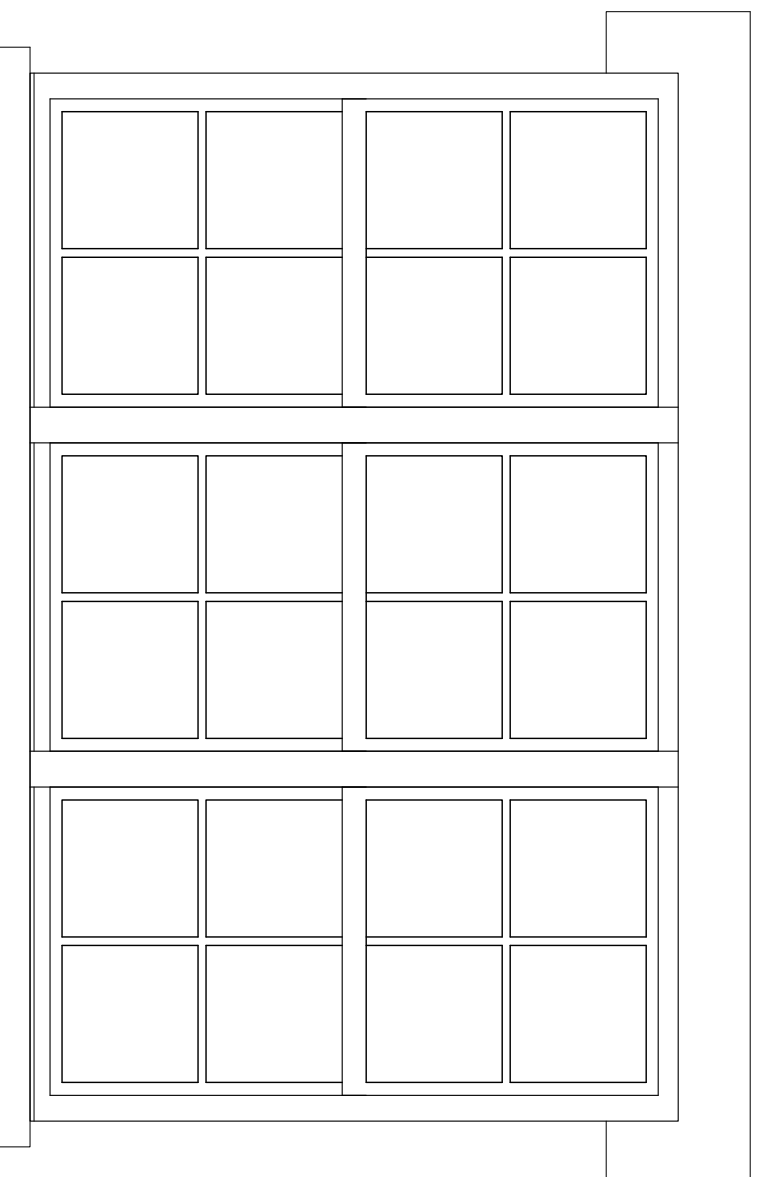
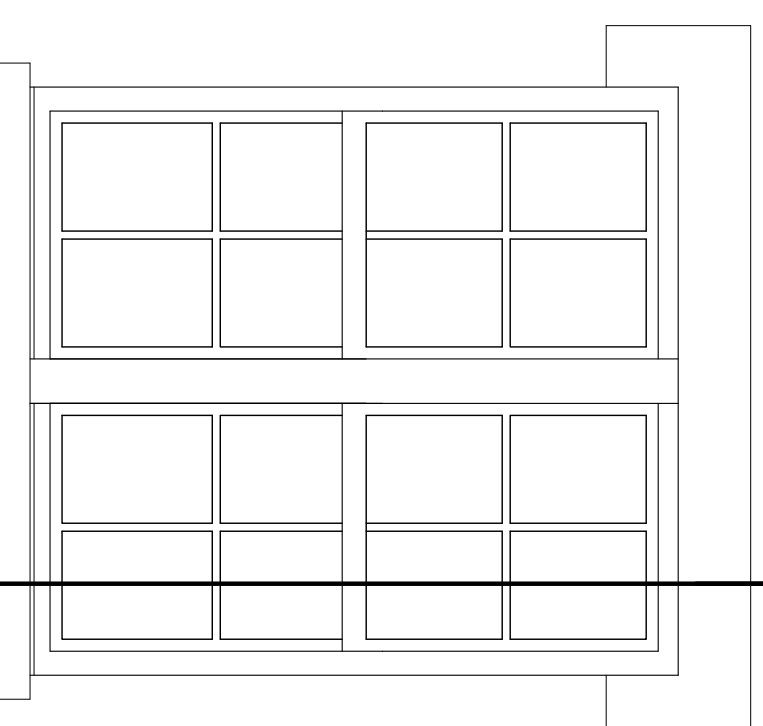
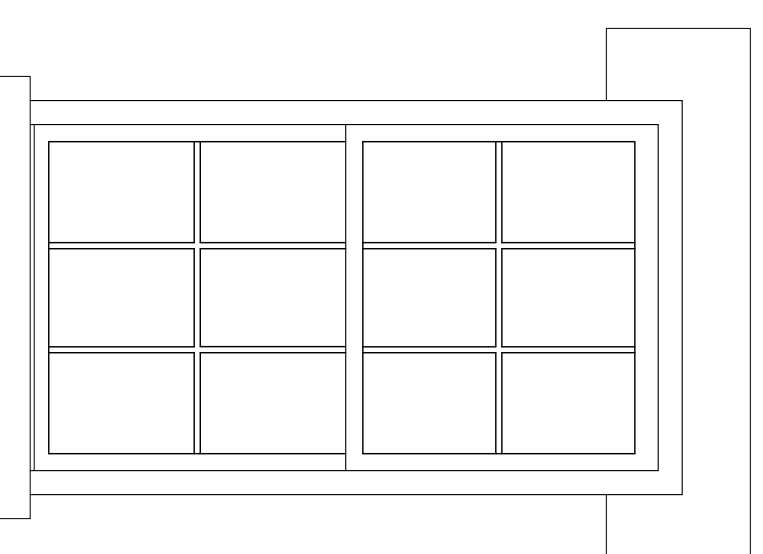
- GROUP #1 - EXISTING WOOD WINDOWS - HISTORIC**
Remove upper & lower sash, inside stop & parting stop to install new weather stripping. Provide & install Advanced Repair Technology (AORT-264-9040) easy stop weather-stripping system. Secure upper sash in fixed position. Install new S.S. 1/2" x 2 1/2" (225# cold) sash weight chain on lower sash. Remove & replace glazing compound. Assume replacement of 20% of glass. Remove existing sealants & apply new sealant. Repair rotted wood in sash & frame w/ exterior wood filler. Sand to shape to match existing. Stain, prime & paint interior & exterior.
Install 3M Prestige Series Ultra PREGO window film on interior face of glass.
- GROUP #2 - EXISTING STEEL WINDOWS - HISTORIC**
Remove all glazing & glazing compound. Clean steel sash & frame to bare metal, prime with ZRC. Install new window glazing & sealants. Paint interior & exterior.
Install 3M Prestige Series Ultra PREGO window film.
- GROUP #3 - EXISTING WOOD WINDOWS**
Remove & apply new sealants along masonry. Prime & paint interior & exterior.
- GROUP #4 - NEW WOOD WINDOWS**
Remove existing aluminum windows. Jeld-Wen - Tradition Plus Windows, double-hung, select kiln dried pine durable treated wood frame & sash, factory prime white interior & exterior, standard brushed chrome hardware. Insulated clear Low-E tempered glass, 3/4" profile grilles on interior & exterior, exterior brick mull. Refer to elevation & installation details. Provide submittals for review & approval (or approved equal).
- GROUP #5 - EXISTING INTERIOR STEEL WINDOWS**
Assume replacement of 10% of glass. Remove loose paint prime with Alkyd Primer & paint.

NOTE - No work on 3rd floor windows in schedule 4
NOTE - PROVIDE CUT SHEETS & FINISH SAMPLES FOR APPROVAL PRIOR TO ORDERING WINDOWS & WINDOW HARDWARE.

ALTERNATE MANUFACTURERS MAY BE SUBMITTED SUBJECT TO ARCHITECT'S APPROVAL.

WINDOW ELEVATIONS

Scale: 1/2" = 1'-0"



TYPE 1

TYPE 2

TYPE 3

TYPE 4

TYPE 5

TYPE 6

TYPE 7

TYPE 8

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ARCHITECT

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Clock Tower Building
Commercial Renovation

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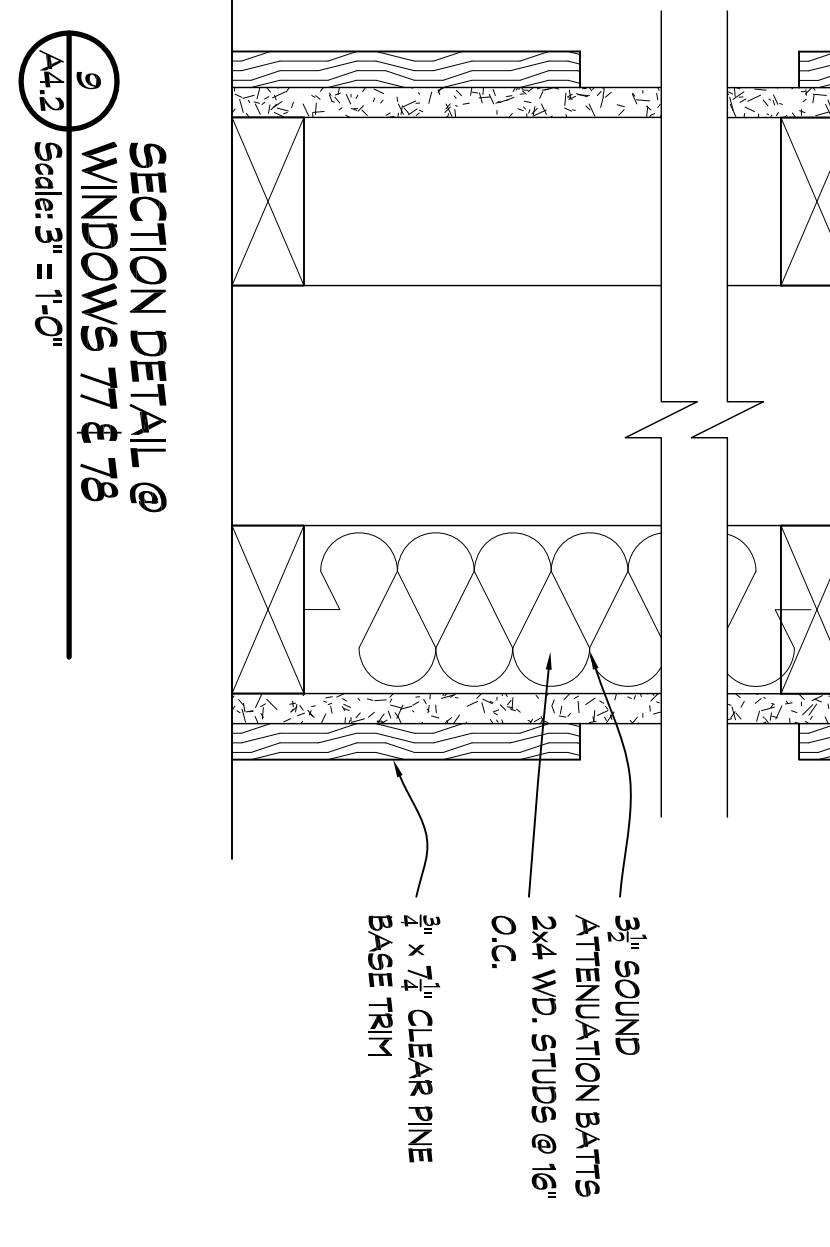
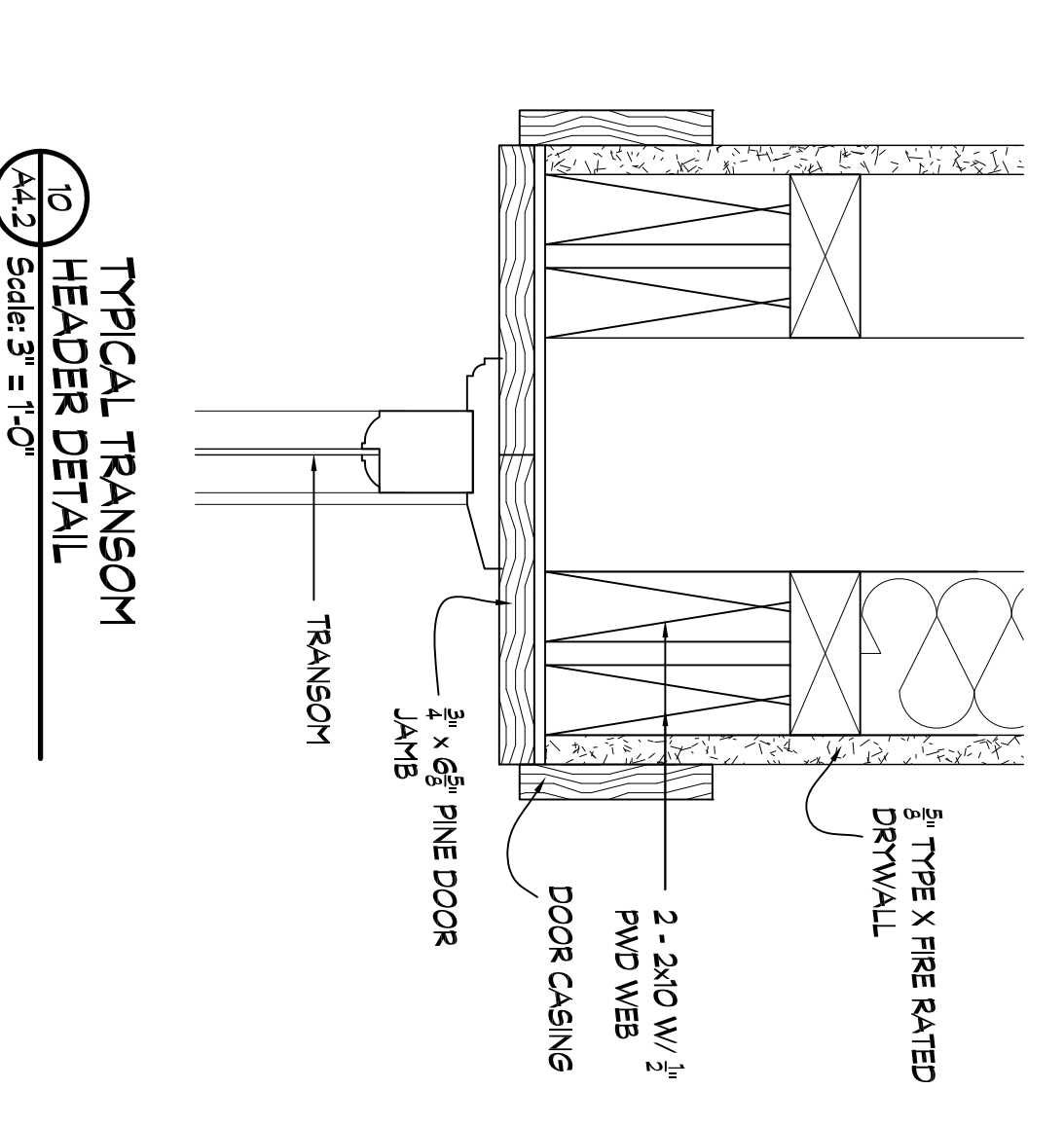
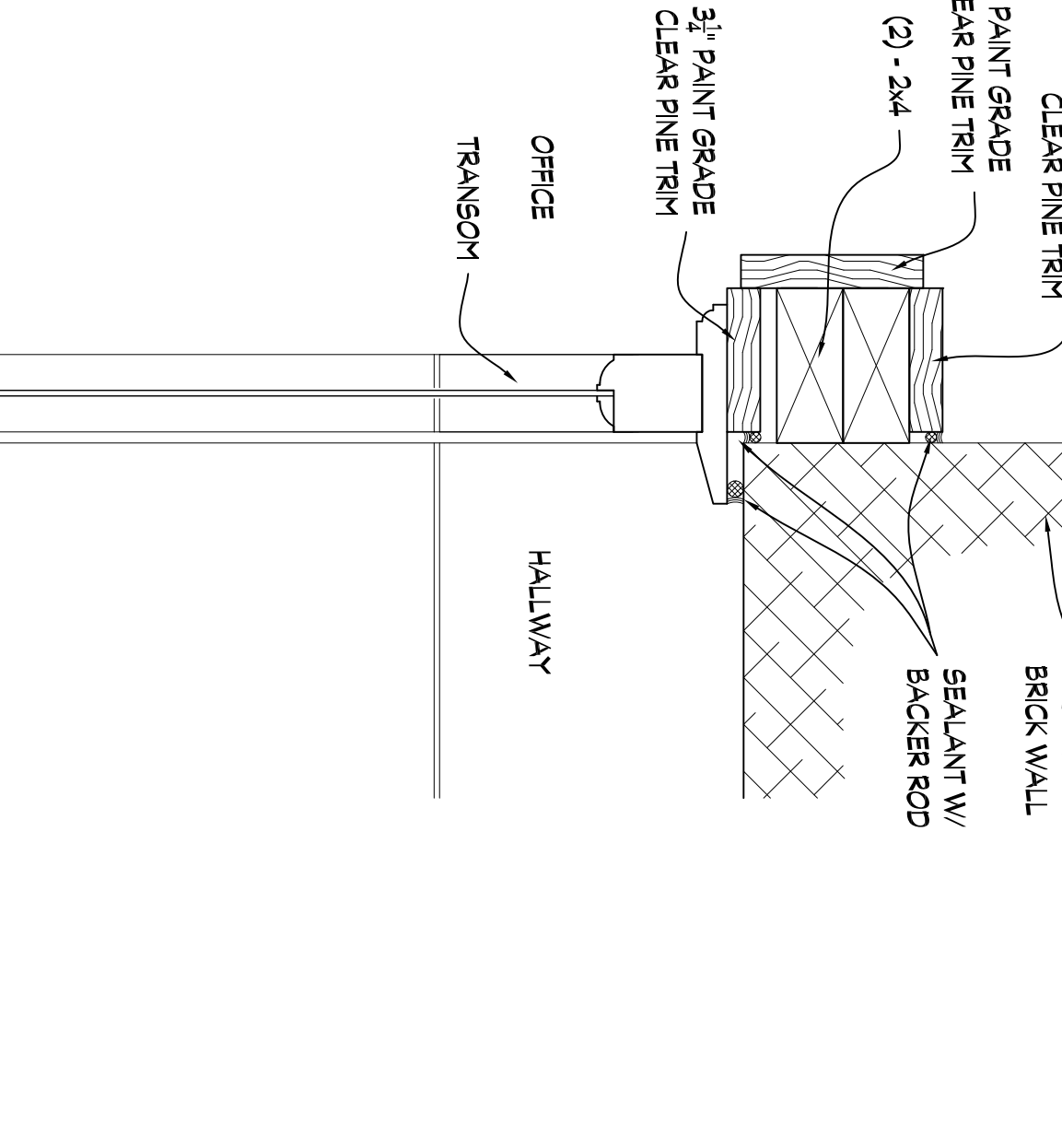
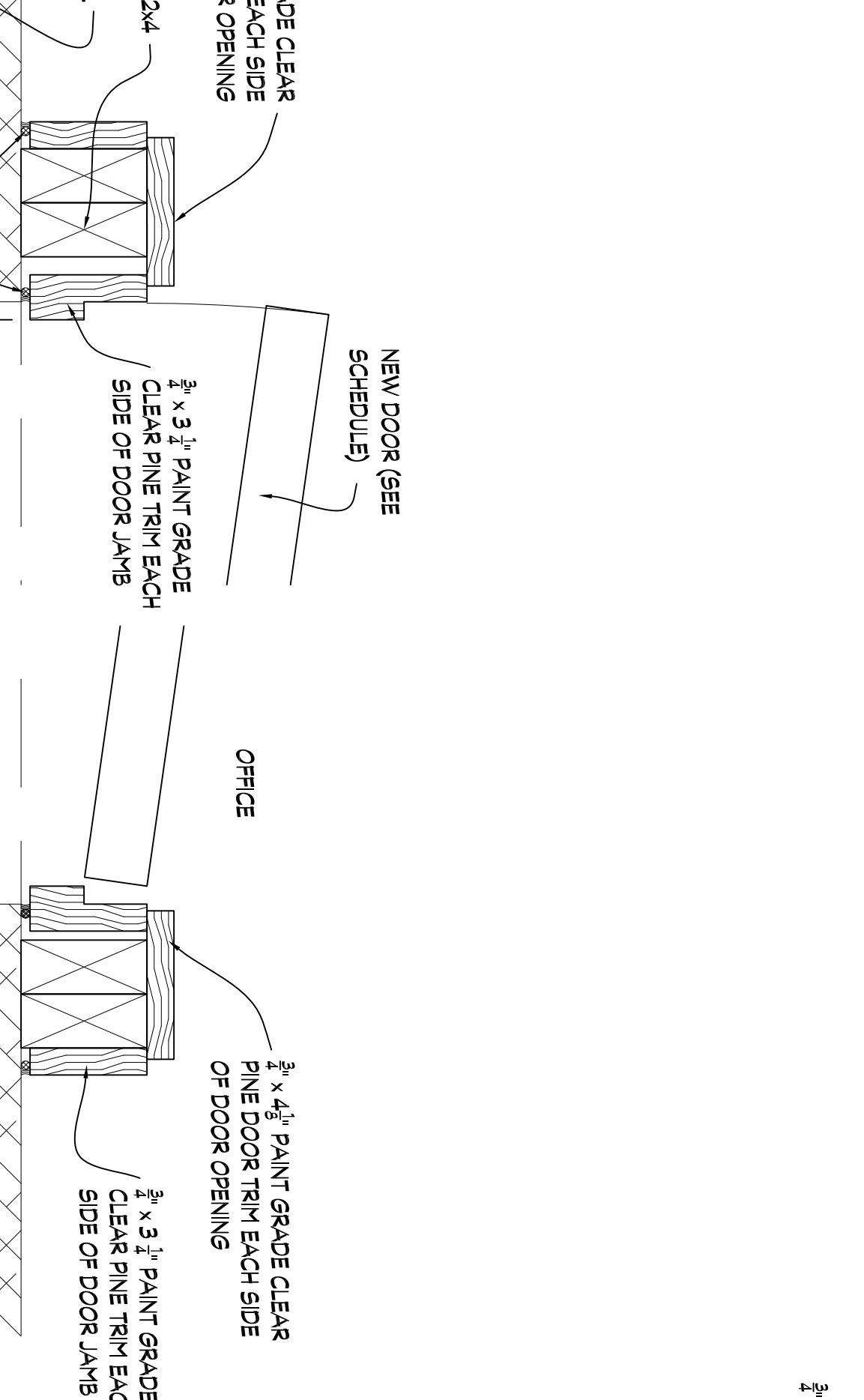
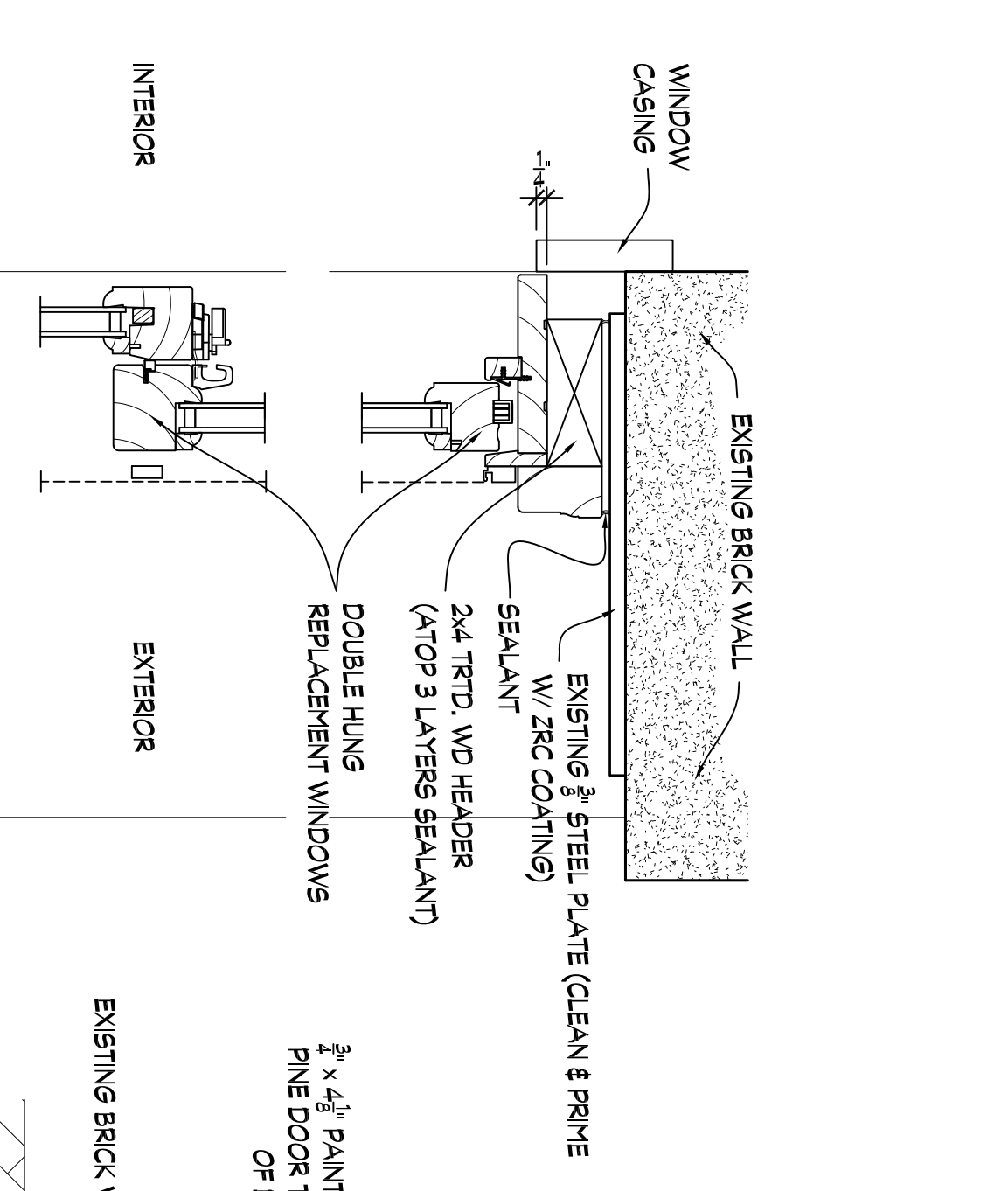
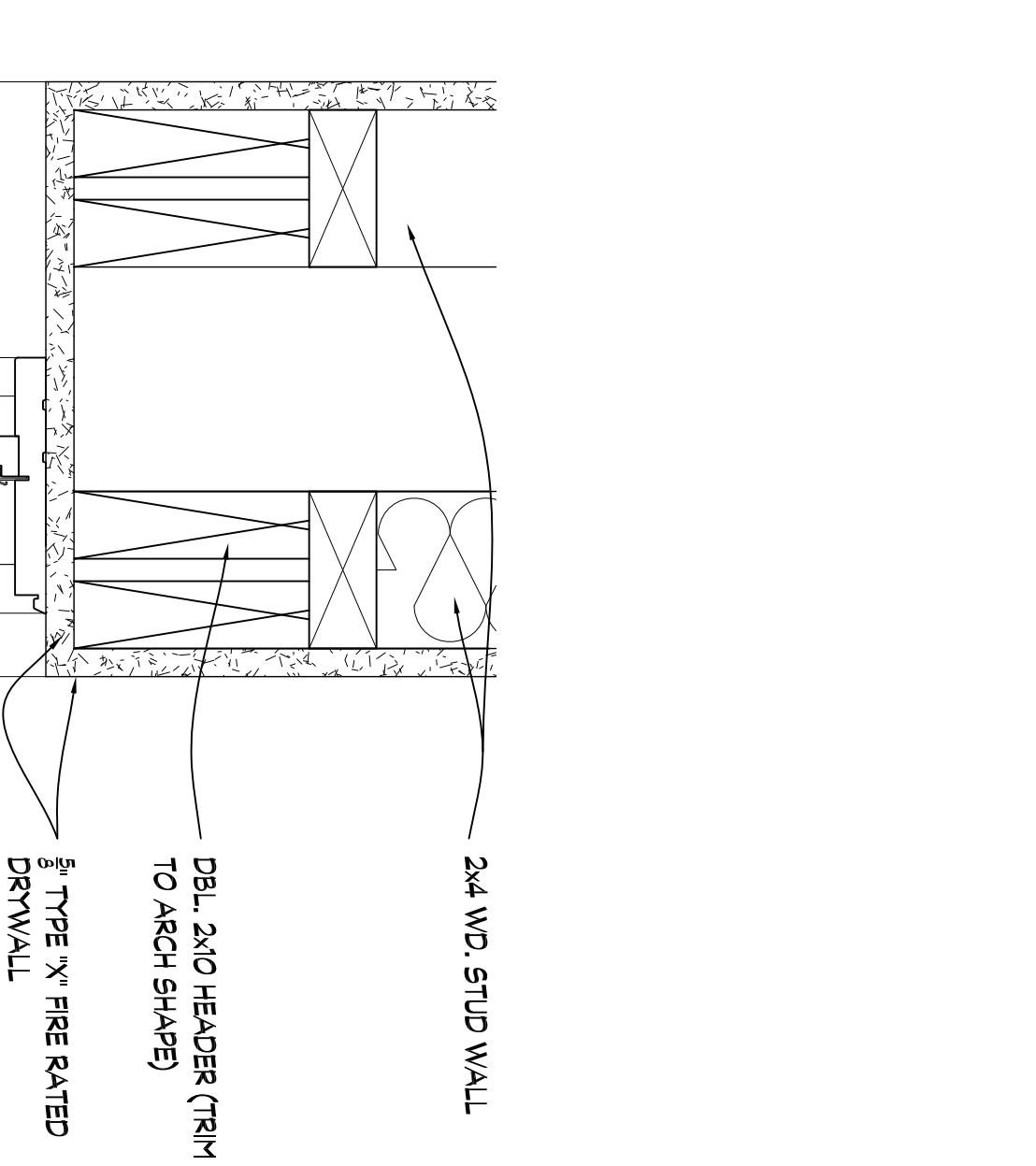
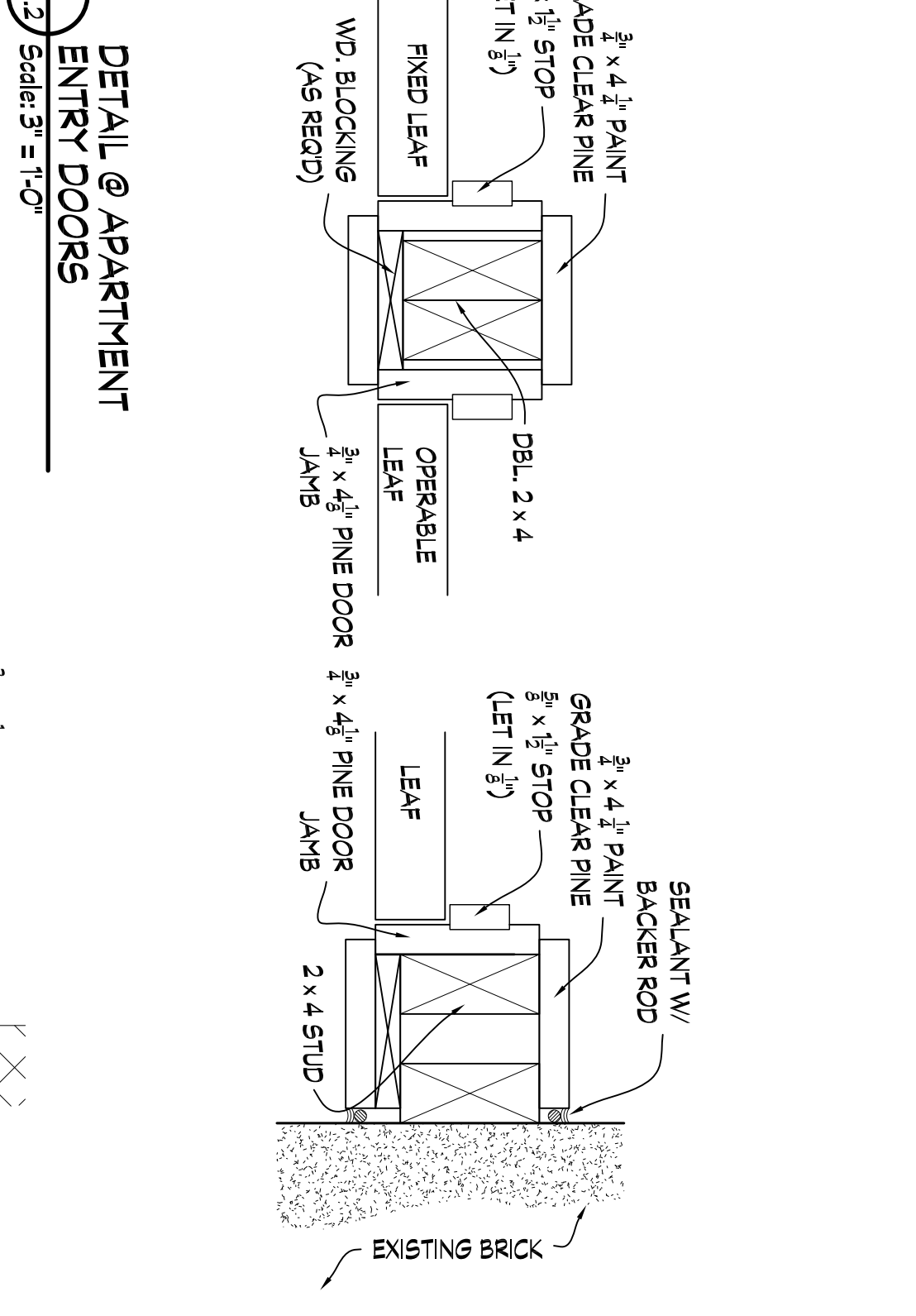
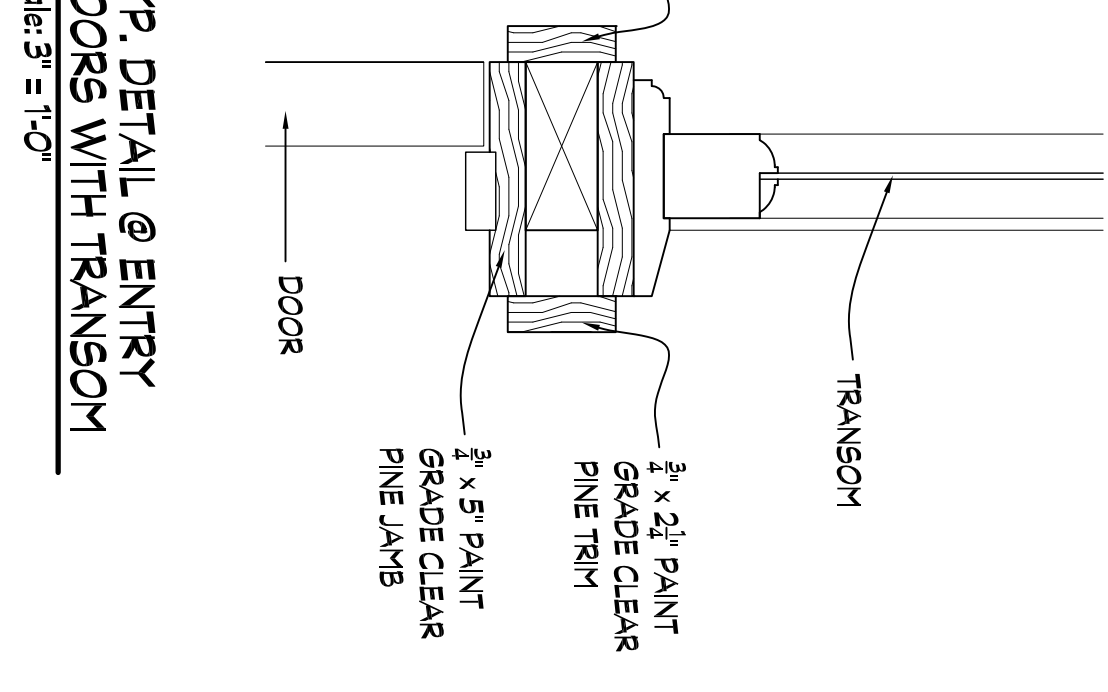
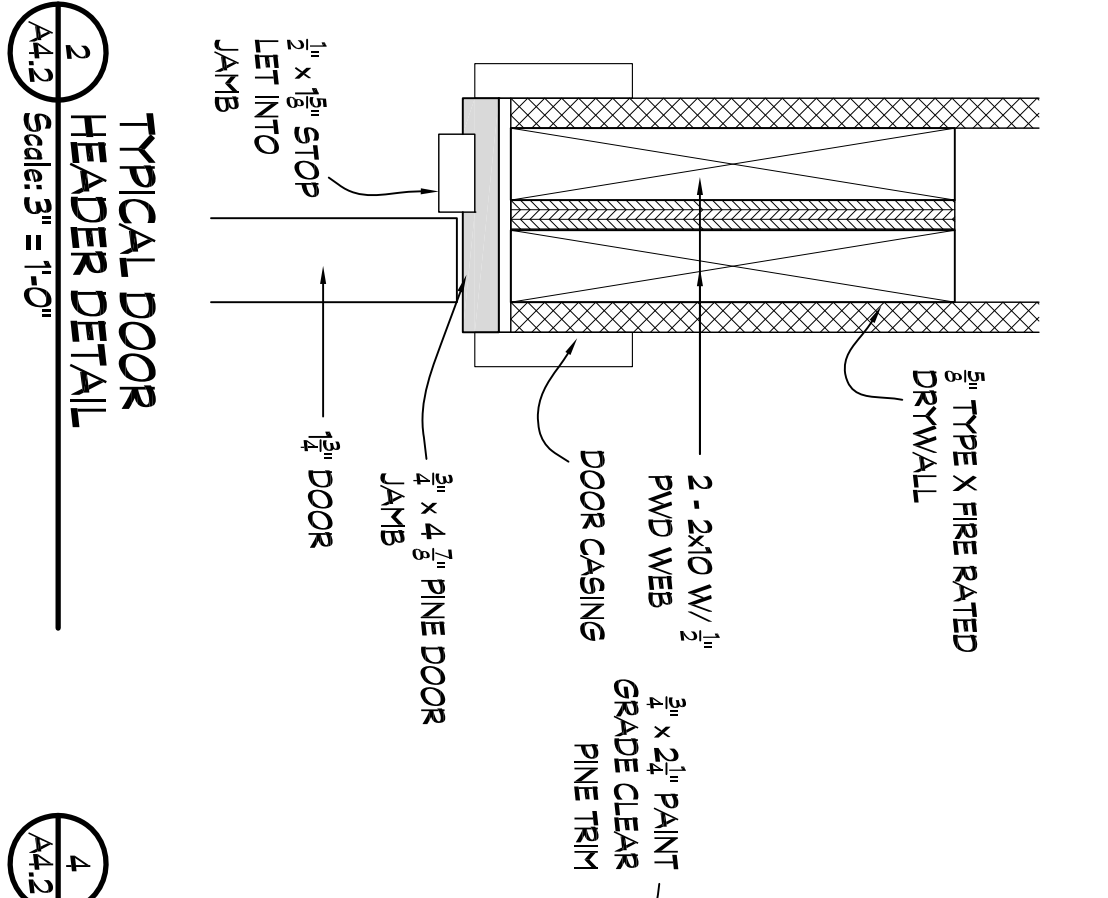
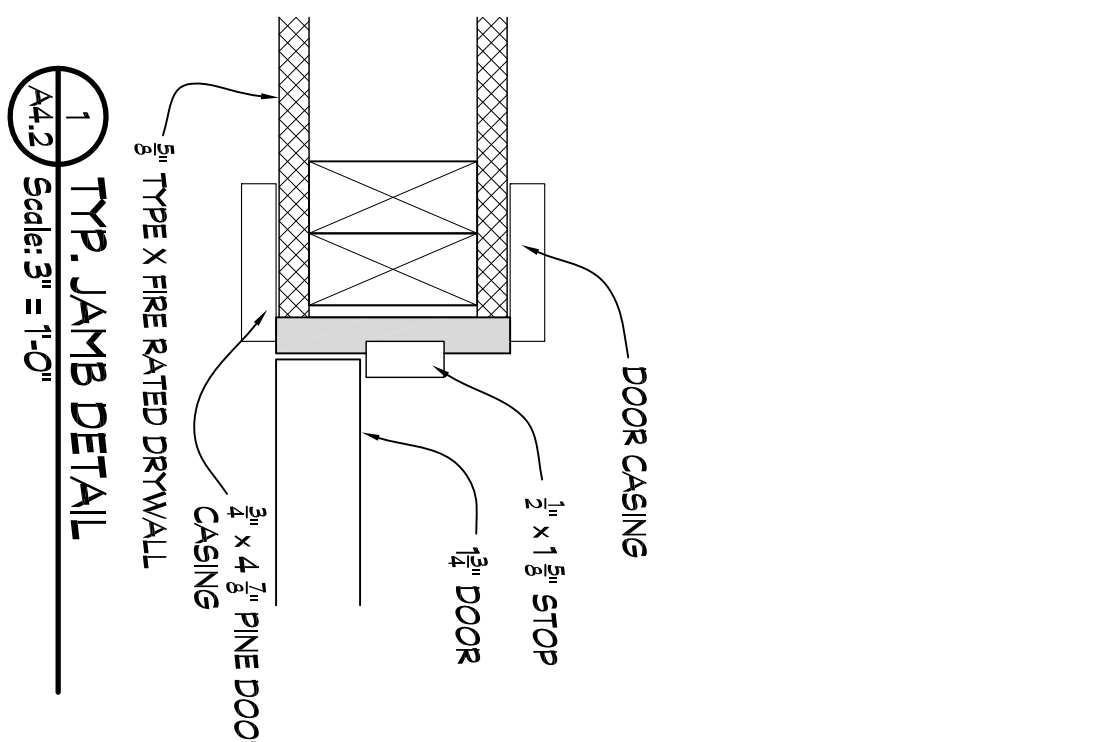
Architect's Project No.: 130104

Permit Set

Window Schedule
SCALE: 1/4"

DATE: 10/28/13

A4.1



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Houston, Texas 77008
Architect's Project No.: 130104

Permit Set
Window Schedule
SCALE: N/A
Date: 10/28/13

A4.2

FINISH NOTES & REMARKS:

Wood Flooring and Stair Tread Finish (provide 4' x 4' sample area for approval)
Inspect for and set surface nails. Belt/drum sand floor according to NWFA standards utilizing an 80 grit paper. Edger areas inaccessible with the belt/drum sander. Clean, sweep, and vacuum floor. Spot and trowel fill as required.

Belt/drum sand floor utilizing an 220 grit paper. Edger areas inaccessible with the belt/drum sander. Hand scrape corners and inaccessible places. Hand sand perimeter or use oscillating sander. Clean, sweep, and vacuum floor. Wipe floor with tac cloth.

Stain to be MinWax Wood Finish oil based stain (color to be determined). Apply stain according to manufacturer's instructions. Screen or fiber pad surface. Clean, sweep, and vacuum floor. Wipe floor with tac cloth.

Finish to be Bona Kemi, Bona Traffic Commercial Semi-Gloss waterborne hardwood floor finish (or approved equal) Apply finish coat according to manufacturer's instructions. Screen or fiber pad surface. Clean, sweep, and vacuum floor. Wipe floor with tac cloth.

Apply 2nd finish coat, Bona Kemi, Bona Traffic Commercial Semi-Gloss.

Wood Stair Treads

Long leaf heart pine salvaged wood, #1 clear quartersawn vertical grain with minimal pin knots under 1/2" and few small nail holes. No checking.

Wood Flooring Infill

Reuse existing wood flooring salvaged during demolition. Lace infill flooring into existing. End joints to be staggered a minimum of 12". No infill piece to be less than 24" in length.

Tile Mosaic- (restrooms, refer to elevations) provide tile color samples for approval

Cove base- Dal-Tile, Rittenhouse Square, 3x6 cove base (white O100)

Grout joint- 1/8" wide grout joint; 1/2 tile offset staggered joints

Wall tile- Dal-Tile, Rittenhouse Square, 3x6 field tile (white O100)

Grout joint- 1/8" wide grout joint; 1/2 tile offset staggered joints

Bullnose cap- Dal-Tile, Rittenhouse Square, 3x6 S-4-369 (white O100)

Grout joint- 1/8" wide grout joint; 1/2 tile offset staggered joints

Bullnose end- Dal-Tile, Rittenhouse Square, 3x6 S-4-639 (white O100)

Thinset- Laticrete, 252 Silver modified thin-set mortar

Grout- Laticrete 1500 sanded grout (44 bright white)

Tile Floor- (men's restroom, women's restroom) provide tile color samples for approval

Installed over 1/2" Hardi Tile Backer

Grout joint- 3/16" wide grout joint

Tile- Dal-Tile, Keystone Mosaic Colorbody Porcelain, Price Group 1, 2" x 2" unglazed

Thinset- Laticrete, 254 Platinum modified thin-set mortar

Grout- Laticrete 1500 sanded grout (44 bright white)

Transition (at doorways)- 1.2 Schluter -RENO-U stainless steel (height as required)

Concrete Filler (Stair Lobby 01, Apartment 200, West Stair S-02)

SikadQuick 1000 1 component rapid hardening patching material (or approved equal) with Sikadur 32 epoxy bonding adhesive. Follow manufacturer's instructions for application. Product to be wet cured for 3-4 hours. Cracking of finished surface will not be acceptable.

Sloped areas- provide 1/4" deep sawcut along bottom edge of ramp. Existing concrete areas to be chipped away to provide minimum thickness not less than 1/4" thick.

Drywall Finish

Drywall is to have an industry standard Level 4 finish. All joints and interior angles shall have tape embedded in joint compound and 2 separate coats of joint compound applied over all flat joints and 1 separate coat of joint compound applied over interior angles. Fastener heads and accessories shall be covered with 3 separate coats of joint compound. All joint compound shall be smooth and free of tool marks and ridges. A light "smooth orange peel" rolled on texture shall be applied over the entire surface utilizing a 3/8" nap roller. Provide 4' x 4' texture sample for approval prior to proceeding.

Existing Masonry and Wood Painted Surfaces- Removal of loose and/or flaking paint on the existing interior masonry and wood surfaces is to be performed by workers properly trained while wearing respiratory protective equipment until personal exposure monitoring has demonstrated that airborne lead exposures are below the OSHA permissible exposure limit. Contractor to provide outside monitoring by qualified monitoring company during removal process.

Wall Paint (drywall & interior masonry)- (color to be determined)

Primer (1 coat)- Sherwin Williams, Harmony, interior latex primer

Finish (2 coats)- Sherwin Williams, Harmony, interior latex flat (3/8" nap roller applied)

Ceiling Paint

(color to be determined)

Primer (1 coat)- Sherwin Williams, Harmony, interior latex primer

Finish (2 coats)- Sherwin Williams, Harmony, interior latex flat (spray applied)

Wood Trim Prep

Fill nail screw holes and imperfections with wood filler or putty. Sand smooth with the grain. Caulk joints after priming.

Caulk/Sealant

Interior- Dap Alex Plus acrylic latex caulk plus silicone (paintable)

Exterior- Sonneborn NPI polyurethane sealant (paintable)

Acoustic- Acoustic Solutions Quiet Seal

Ceiling Beams, Baseboard, Window & Door Casings, Window (color to be determined)

Primer (1 coat)- Sherwin Williams, Harmony, interior latex primer

Finish (2 coats)- Sherwin Williams, Harmony, interior latex semi-gloss (brush applied)

Door Paint (color to be determined)

Primer (1 coat)- Sherwin Williams, Harmony, interior latex primer

Finish (2 coats)- Sherwin Williams, Harmony, interior latex semi-gloss (spray applied)

Exterior Window & Door Paint (color to be determined)

Primer (1 coat)- Sherwin Williams, exterior oil based wood primer (brush applied)

Finish (2 coats)- Sherwin Williams, Duration, exterior latex satin (brush applied)

Corian counters- (restrooms, coffee bars, & apartment kitchen) Price Group C color to be determined

(1/2" thick) provide square edge detail sample for approval

Plastic Laminate Casework- Wilsonart (standard 60 finish, color to be determined)

Rubber base- Johnsonite, Millwork Traditional Cove, MA-08 (4" high, color to be determined)

Vinyl Tile- Johnsonite, Azrock, Color Essence (12x12, color to be determined)

Transition (at doorways)- 1.2 Schluter -RENO-U stainless steel (height 1/8")

Elevator floor- Reuse salvaged steel plate material

Lay-in Ceiling- Armstrong, Cirrus, 2 x 2 tegular edge, Dem, DV/DXL 15" suspension system (flat white 050)

ACCESSORIES:

Specialties (provide and install) provide cut sheets for approval prior to ordering

Grab Bar:

Bobrick B-6697 two wall 1 1/2" diameter satin stainless steel 42" x 54"

(1 req'd in Men's Restroom 214 and 1 req'd in Women's Restroom 212)

Mirrors:

Bobrick B-165-2436 24" x 36" channel frame

(2 req'd in Men's Restroom 214 and 2 req'd in Women's Restroom 212)

Toilet Tissue Dispenser:

Bobrick B-2640 double roll surface mounted with shelf

(2 req'd in Men's Restroom 214 and 3 req'd in Women's Restroom 212)

Feminine Napkin Dispaci:

Bobrick B-4354 Contura series partition mounted double sided

(1 req'd in Women's Restroom 212)

Bobrick B-4353 Contura series recess wall mounted

(1 req'd in Women's Restroom 212)

Paper Towel Dispenser:

Bobrick B-29744 semi-recessed roll dispenser

(1 req'd in Men's Restroom 214 and 1 req'd in Women's Restroom 212)

Soap Dispenser:

Bobrick B-618615 Contura wall mounted soap dispenser

(1 req'd in Men's Restroom 214 and 1 req'd in Women's Restroom 212)

Understank Piping Cover:

Tuero Low-Guard 2 (install at all restroom lavatories and coffee bar sinks)

Toilet Partitions:

Global (or approved equal) Floor Anchored/Overhead Braced 304 Stainless Steel #4 satin finish.

1" thick doors and panels with 22 gauge stainless steel faces. Stainless steel die cast hinges. Coat hook, bumper, stop, keeper, and concealed latch with emergency access hardware to be provided at each stall.

Provide continuous stainless steel wall brackets at panels and pillars. (provide shop drawings for approval)

Fire Extinguisher Cabinets:

Larsen's 2409-R4 Full clear acrylic door, white baked enamel finish (semi-recessed 3 1/2)

Refer to floor plans for locations

Access Panels:

Millor UFR universal fire rated access doors

Refer to floor plans for locations and sizes

Appliances (provide and install at Apartment 300):

Microwave Oven- GE Profile Advantium PEB910ODRAW (white)

Induction Cooktop- Summit SIN2220 2 burner induction cooktop

Dishwasher- GE Spacemaker GSM180ONWW 18" dishwasher (white)

Stainless Steel Table w/ Sink (apartment)

Advanced Tabco KMS-11b-305

16 gauge stainless steel work table with sink & undershelf (30" x 60" x 35 1/2")

with 5" b.s. sink on right (or approved equal)

Cabinet Hardware:

4" satin finish aluminum wire pulls at doors & drawers (typical)

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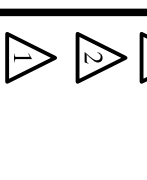
Clock Tower Building Commercial Renovation

611 W. 22nd Street Houston, Texas 77008

Architect's Project No.: 130104

Permit Set

Finish Schedule SCALE: N/A



Date: 10/28/13

A4.4