

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THESE DOCUMENTS AND TO THE ACCEPTED NATIONAL STANDARDS FOR THAT TRADE. WHERE THESE DOCUMENTS DIFFER FROM THE ACCEPTED STANDARDS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN UNLESS THE OWNER'S REPRESENTATIVE ACCEPTS THE LESSER STANDARD. A PARTIAL LIST OF THE TRADE STANDARDS FOLLOWS:
- AMERICAN ALUMINUM MANUFACTURER'S ASSOCIATION
- AMERICAN CONCRETE INSTITUTE
- AMERICAN BOARD PRODUCTS ASSOCIATION
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC.
- AMERICAN IRON AND STEEL INSTITUTE
- AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
- AMERICAN PLUMBING ASSOCIATION
- AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS, INC.
- THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS, INC.
- THE ARCHITECTURAL WOODWORK ASSOCIATION
- AMERICAN WOOD PRESERVERS ASSOCIATION
- BUILDERS HARDWARE MANUFACTURER'S ASSOCIATION
- BRICK INSTITUTE OF AMERICA
- BUILDING STONE INSTITUTE
- COPPER DEVELOPMENT ASSOCIATION, INC.
- CALIFORNIA REDWOOD ASSOCIATION
- THE CARPET AND RUG INSTITUTE
- THE DOOR AND HARDWARE INSTITUTE
- FACING TILE INSTITUTE
- GIPSUM ASSOCIATION
- GLASS TEMPERING ASSOCIATION
- HARDWOOD FLOORING MANUFACTURER'S ASSOCIATION
- INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERING, INC.
- MARBLE INSTITUTE OF AMERICA
- METAL LATH / STEEL FRAMING ASSOCIATION
- NATIONAL FIRE PROTECTION ASSOCIATION
- NATIONAL FOREST PRODUCTS ASSOCIATION
- NATIONAL PARTICLE BOARD ASSOCIATION
- NATIONAL PAINT AND COATING ASSOCIATION
- NATIONAL TERRAZZO AND MOSAIC, INC.
- PORCELAIN ENAMEL INSTITUTE, INC.
- SOUTHERN FOREST PRODUCTS ASSOCIATION
- STEEL JOIST INSTITUTE
- STUCCO MANUFACTURER'S ASSOCIATION
- THE SOCIETY OF THE PAPER INDUSTRY, INC.
- THE COUNCIL OF AMERICA, INC.
- UNDERWIRETS LABORERS, INC.
- WOOD AND SYNTHETIC FLOORING INSTITUTE
- WOODWORK INSTITUTE OF CALIFORNIA

ELECTRICAL NOTES:

- ALL DEVICES ARE NEW, UNLESS NOTED OTHERWISE.
- DATA / TELEPHONE CABLE IN RETURN AIR PLENUM SHALL BE PLENUM RATED OR INSTALLED IN CONDUIT.
- DO NOT INSTALL ELECTRICAL DEVICES IN THE "POCKET" OF POCKET DOORS.
- ALL OUTLETS WITHIN 6' OF LAYS OR SINKS TO BE ON GFI CIRCUIT.
- ALL GANGED SWITCHED SHALL HAVE GANG BARRIERS AND A COMMON COVER PLATE. SWITCHES SHALL BE GANGED WHERE POSSIBLE.

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS BEFORE SUBMITTING BID AND CONSTRUCTION. INFORM OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON THESE DRAWINGS, OR REPORTED IN SPECIFICATIONS, SHALL BE IN ACCORDANCE WITH ALL CITY OF HOUSTON BUILDING CODES, ORDINANCES, AND ALL OTHER LOCAL BUILDING CODES HAVING JURISDICTION.
- CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS TO COORDINATE WITH THE EXISTING CONDITIONS. ANY VARIANCES AND/OR DISCREPANCIES THAT ARISE IN THE ABOVE REVIEW ARE TO BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
- CONTRACTOR IS REQUIRED TO VISIT SITE AND EXAMINE ALL CONDITIONS AFFECTING THE PROJECT PRIOR TO SUBMITTING A BID.
- ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH "OTHER" CONTRACTORS AS REQUIRED.
- ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- MANUFACTURER'S MATERIALS, EQUIPMENT, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS NOTED OTHERWISE.
- THE WORK SHALL BE TURNED OVER TO THE OWNER IN IMMACULATE CONDITION. CLEANING INCLUDES REMOVAL OF SMUDGES, MARKS, STAINS, FINGERPRINTS, SOIL, DIRT, PAINT SPOTS, DUST, LINT DISCOLORATIONS AND OTHER FOREIGN MATERIALS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL STONEWORK, MILLWORK, MISCELLANEOUS METAL DOORS, DOOR HARDWARE AND EQUIPMENT. SHOP DRAWINGS SHOULD INCLUDE DETAILED FABRICATION DRAWINGS AND MATERIALS SCHEDULES, LOCATION AND ORIENTATION OF ALL ITEMS SHALL BE CLEARLY INDICATED. BEGIN FABRICATION ONLY AFTER RECEIVING APPROVAL OF SHOP DRAWINGS.
- PRICING SHALL INCLUDE ALL OBVIOUS WORK TO BE DONE ON AN OVERTIME BASIS, FLOOR DRILLING, CEILING PLENUM WORK IN OCCUPIED AREAS, MATERIAL MOVEMENT, SYSTEM SHUTDOWNS, ETC.
- PROVIDE DOOR STOPS AT ALL DOORS.
- ALL NEW GLAZING TO BE TEMPERED GLASS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS NOTED "CLEAR" OR "CLR" ARE FOR EQUIPMENT CLEARANCES AND MUST BE STRICTLY MAINTAINED.
- ALL DIMENSIONS NOTED "VERIFY" ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCES ARE TO BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
- "ALIGN" SHALL MEAN TO LOCATE FINISHED FACES IN THE SAME PLANE.
- ALL FLOORS ARE TO BE LEVELED, FILLED AND SWEEP BROOM CLEAN BY CONTRACTOR.

SPECIFICATION

NOTE:

THIS IS AN INTERIOR BUILD-OUT OF A NEW RESTAURANT IN A PREVIOUSLY PERMITTED RESTAURANT LEASED SPACE, A-2 OCCUPANCY.

PREVIOUS PROJECT DATA:

PREVIOUS RESTAURANT	"CAFE RED OXON"
BUILDING ADDRESS:	1111 ELDRIDGE PARKWAY, SUITE 100 HOUSTON, TEXAS 77077
PREVIOUS PROJECT AREA	
GROSS INTERIOR AREA:	5,800 SQUARE FEET
OCCUPANCY TYPE:	A-2 RESTAURANT
CONSTRUCTION TYPE:	II-B
ALLOWABLE BUILDING AREA / HEIGHT:	GROUP A-2: 2 STORIES/9,500 SF
SPRINKLERED:	NO

BUILDING CODE DATA

DETAIL SYMBOL	(X/XX)	DETAIL NUMBER SHEET NUMBER
NOTE REFERENCE SYMBOL	01	
DOOR SYMBOL	XXX	
PARTITION TYPE	B-30	
DETAIL/ ELEVATION SYMBOL	XX	
EXTENT OF FINISH	(Wavy line)	
REVISION CLOUD	(Cloud)	
REVISION MARKER	(Triangle)	
GRID MARKER	(A)	
NEW DOOR AND WALL	(L-shaped)	

LEGEND

BUILDING CODES:

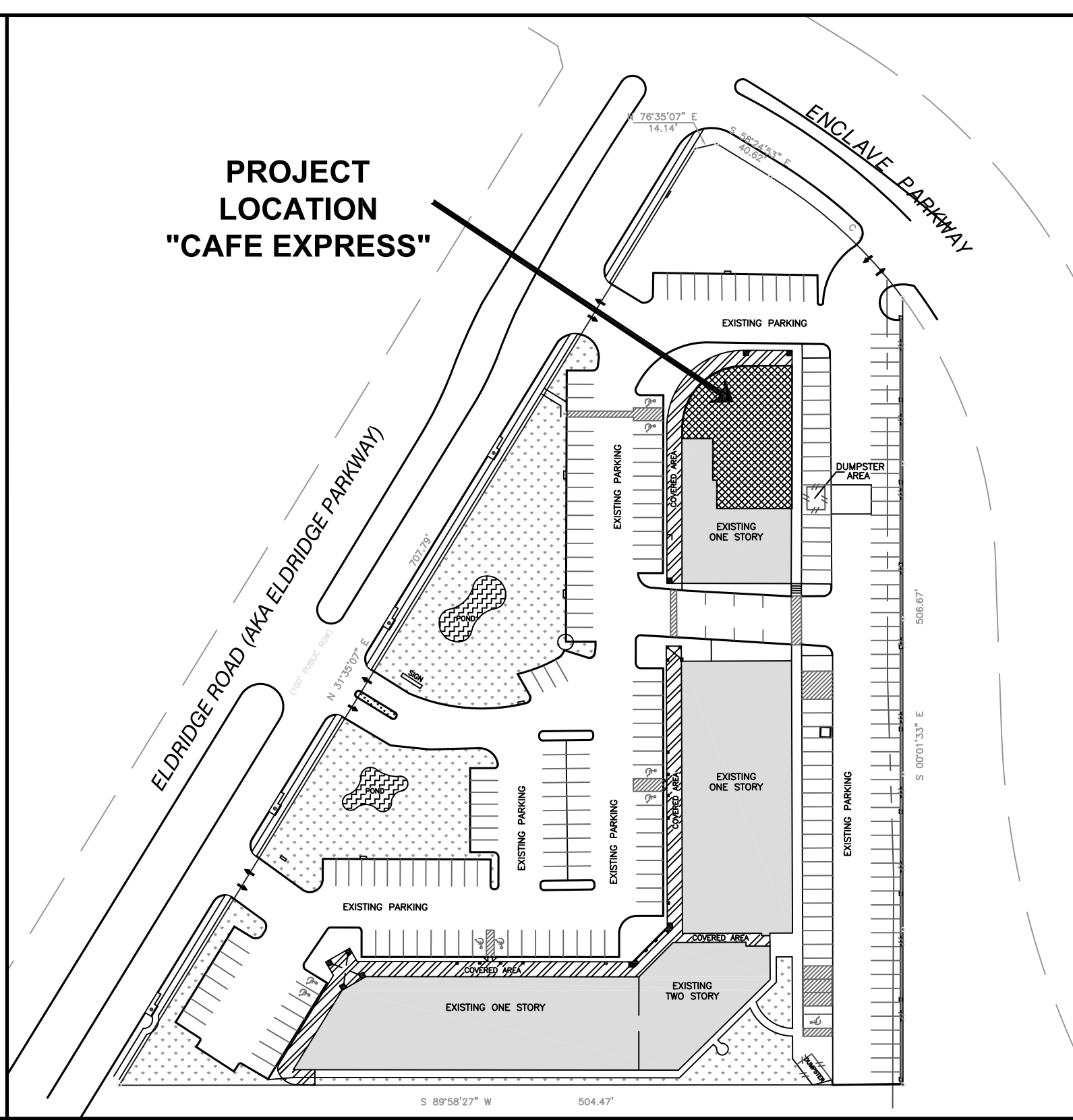
Building Code	2006 International Building Code WITH CITY OF HOUSTON AMENDMENTS
Fire Code	2006 International Fire Code
Electrical Code	2011 National Electrical Code
Plumbing Code	2006 Uniform Plumbing Code
Mechanical Code	2006 Uniform Mechanical Code
Energy Code	2009 International Energy Conservation Code

Americans with Disabilities Act, 28 CFR Part 36, Non-discrimination on the basis of disability by Public accommodations and in Commercial Facilities. Final Rule dated July 26, 1991.

PROPOSED PROJECT DATA:

SCOPE: INTERIOR BUILD OUT OF A TENANT LEASE SPACE FOR A RESTAURANT, APPROXIMATELY 4,970 SF, WITH EXTERIOR DINING PATIO.

BUILDING ADDRESS:	1111 ELDRIDGE PARKWAY, SUITE 100 HOUSTON, TEXAS 77077
BUILDING OWNER:	VISTA MANAGEMENT COMPANY 1117 ELDRIDGE PARKWAY HOUSTON, TX 77077 TEL: 281.560.7320
PROJECT AREA	
GROSS INTERIOR AREA:	4,970 SQUARE FEET
OCCUPANCY TYPE:	A-2 RESTAURANT
OCCUPANT LOAD:	
DINING	ASSEMBLY UNCONCENTRATED 1 PER 15 SQ. FT./ NET 2,346/15 = 157
KITCHEN	1 PER 200 SQ. FT./GROSS 1,808/200 = 9
TOTAL INTERIOR OCCUPANTS	166 OCCUPANTS
PATIO	60 OCCUPANTS
TOTAL	226 OCCUPANTS
CONSTRUCTION TYPE:	II-B
ALLOWABLE BUILDING AREA / HEIGHT:	GROUP A-2: 2 STORIES/9,500 SF
SPRINKLERED:	NO
EGRESS WIDTH REQUIRED:	A-2 RESTAURANT: 166 OCC. X .2 INCHES = 33.2 INCHES OR 32" CLEAR, WHICHEVER IS GREATER.
EGRESS WIDTH PROVIDED:	144 INCHES
PARKING:	4,970 GSF 8 sq./1000 GSF = 39 REQ.
PROVIDED:	40 PARKING SPACES (2 HC)
PLUMBING FIXTURES:	
A-2 RESTAURANT:	226 OCCUPANTS
GROUP A-2-RESTAURANT REQUIRED WATER CLOSETS MALE:	1 PER 75 = 2
WATER CLOSETS PROVIDED:	1 WATER CLOSET + 2 URINALS
REQUIRED WATER CLOSETS FEMALE:	1 PER 75 = 2
WATER CLOSETS PROVIDED:	3 WATER CLOSETS
REQUIRED LAVATORIES:	1 PER 200 = 2
LAVATORIES PROVIDED:	4 LAVATORIES

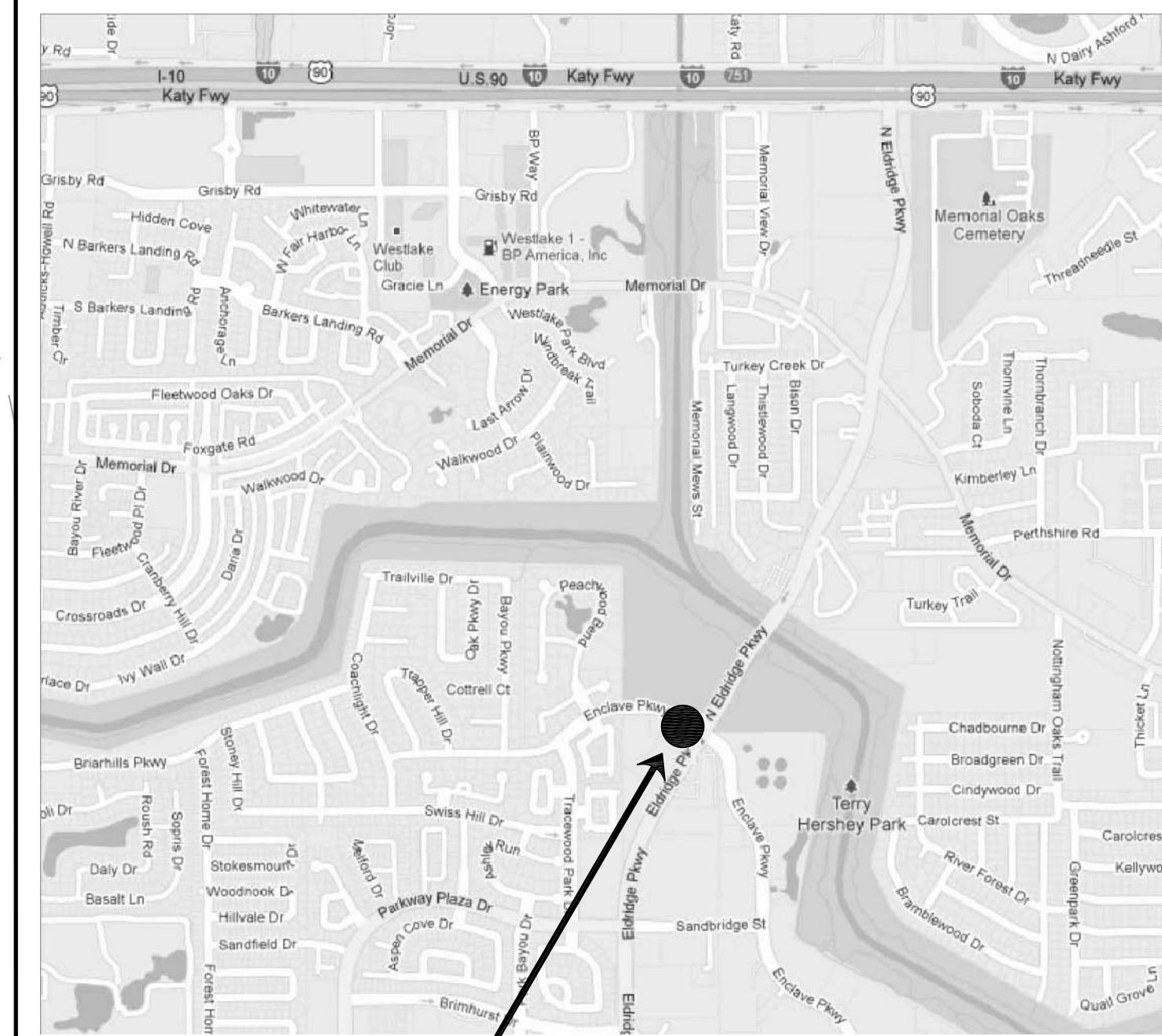


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DRAWING LIST:

A0.0	PROJECT DATA
A0.1	ADA SHEET
A0.5	SCHEDULES
S1.0	SURVEY
A1.0	EXISTING SITE PLAN
A2.0	DEMO PLAN
A2.1	FLOOR FINISH PLAN
A2.3	FLOOR LIFE SAFETY PLAN
A2.4	
A3.1	REFLECTED CEILING PLAN
A4.0	INTERIOR ELEVATIONS
A4.1	INTERIOR ELEVATIONS
A7.1	ENLARGED DETAILS
A8.2	MILLWORK DETAILS
A8.3	MILLWORK DETAILS
A8.4	MILLWORK DETAILS
MECHANICAL	
M1.1	MECHANICAL FLOOR PLAN
M2.1	MECHANICAL LEGEND & SPECS
M3.1	MECHANICAL DETAILS
ELECTRICAL	
E1.1	ELECTRICAL LIGHTING PLAN
E2.1	ELECTRICAL POWER PLAN
E3.1	ELECTRICAL RISER DIAGRAM
E4.1	ELECTRICAL DETAILS & SPECS
PLUMBING	
P1.1	PLUMBING FLOOR PLAN
P1.2	PLUMBING KITCHEN PLAN
P2.1	PLUMBING DETAILS
P3.1	PLUMBING GAS RISER
P4.1	PLUMBING SCHEDULES
P5.1	PLUMBING RISER DIAGRAMS
KITCHEN	
FS-1	FOOD SERVICE EQUIPMENT PLAN
FS-2	FOOD SERVICE PLUMBING PLAN
FS-3	FOOD SERVICE ELECTRICAL PLAN
FS-4	FOOD SERVICE SPECIAL CONDITIONS PLAN

DRAWING INDEX



PROJECT LOCATION

VICINITY MAP



ISSUE
02-27-12 LANDLORD REVIEW
02-28-12 FOR PERMIT & PRICING



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CONSULTANTS
Holste & Associates, Inc.
MEP Engineers

PROJECT NAME



Cafe Express Restaurant

PROJECT ADDRESS
1111 Eldridge Parkway #100
Houston, Texas 77077

PROJECT NUMBER

11052

SHEET NAME

PROJECT DATA & GENERAL NOTES

SHEET NUMBER

A0.0

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