GENERAL NOTES:

- * ALL WORK SHALL CONFORM TO THESE DOCUMENTS AND TO THE ACCEPTED NATIONAL STANDARDS FOR THAT TRADE. WHERE THESE DOCUMENTS DIFFER FROM THE ACCEPTED STANDARDS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN UNLESS THE OWNER'S REPRESENTATIVE ACCEPTS THE LESSER STANDARD. A PARTIAL LIST OF THE TRADE STANDARDS FOLLOWS:
- * AMERICAN ALUMINUM MANUFACTURER'S ASSOCIATION * AMERICAN CONCRETE INSTITUTE * AMERICAN CONCRETE INSTITUTE

 * AMERICAN BOARD PRODUCTS ASSOCIATION

 * AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC.

 * AMERICAN IRON AND STEEL INSTITUTE * AMERICAN INSTITUTE OF TIMBER CONSTRUCTION * AMERICAN PLYWOOD ASSOCIATION * AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS, INC.

 * THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS, INC.
- * THE ARCHITECTURAL WOODWORK INSTITUTE

 * AMERICAN WOOD PRESERVERS ASSOCIATION * BUILDERS HARDWARE MANUFACTURER'S ASSOCIATION * BUILDING STONE INSTITUTE

 * COPPER DEVELOPMENT ASSOCIATION, INC.
- * CALIFORNIA REDWOOD ASSOCIATION
 * THE CARPET AND RUG INSTITUTE * THE DOOR AND HARDWARE INSTITUTE * FACING TILE INSTITUTE * GYPSUM ASSOCIATION

ELECTRICAL NOTES:

* ALL DEVICES ARE NEW, UNLESS NOTED OTHERWISE.

* DO NOT INSTALL ELECTRICAL DEVICES IN THE

"POCKET" OF POCKET DOORS.

GANGED WHERE POSSIBLE.

GENERAL NOTES:

DISCREPANCIES.

JURISDICTION

SUBMITTING A BID.

NOTED OTHERWISE.

* CONTRACTOR TO FIELD VERIFY ALL CONDITIONS

INFORM OWNER'S REPRESENTATIVE OF ANY

ALL OTHER LOCAL BUILDING CODES HAVING

* CONTRACTOR SHALL REVIEW ALL PLANS AND

CONDITIONS. ANY VARIANCES AND/OR

ARE TO BE REPORTED TO THE OWNER'S

ON THESE DRAWINGS, OR REPORTED IN

BEFORE SUBMITTING BID AND CONSTRUCTION.

* ALL CONSTRUCTION AND INSTALLATION WORK SHOWN

SPECIFICATIONS, SHALL BE IN ACCORDANCE WITH ALI

SPECIFICATIONS TO COORDINATE WITH THE EXISTING

DISCREPANCIES THAT ARISE IN THE ABOVE REVIEW

* CONTRACTOR IS REQUIRED TO VISIT SITE AND EXAMINE

ALL CONDITIONS AFFECTING THE PROJECT PRIOR TO

* ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS

PART OF THE CONSTRUCTION AGREEMENT. THE

"OTHER" CONTRACTORS AS REQUIRED.

BE INSTALLED PER MANUFACTURER'S

FROM DATE OF SUBSTANTIAL COMPLETION.

GENERAL CONTRACTOR SHALL COORDINATE WITH

* ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR

* MANUFACTURER'S MATERIALS, EQUIPMENT, ETC. SHALL

* THE WORK SHALL BE TURNED OVER TO THE OWNER IN

FINGERPRINTS, SOIL, DIRT, PAINT SPOTS, DUST, LINT DISCOLORATIONS AND OTHER FOREIGN MATERIALS.

* CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL

STONEWORK, MILLWORK, MISCELLANEOUS METAL

DOORS, DOOR HARDWARE AND EQUIPMENT. SHOP

DRAWINGS SHOULD INCLUDE DETAILED FABRICATION

DRAWINGS AND MATERIALS SCHEDULES, LOCATION AND ORIENTATION OF ALL ITEMS SHALL BE CLEARLY

* PRICING SHALL INCLUDE ALL OBVIOUS WORK TO BE DONE ON AN OVERTIME BASIS; FLOOR DRILLING,

* ALL NEW GLAZING TO BE TEMPERED GLASS UNLESS

* ALL DIMENSIONS NOTED "CLEAR" OR "CLR" ARE FOR

EQUIPMENT CLEARANCES AND MUST BE STRICTLY

* ALL DIMENSIONS NOTED "VERIFY" ARE TO BE VERIFIED

* "ALIGN" SHALL MEAN TO LOCATE FINISHED FACES IN

* ALL FLOORS ARE TO BE LEVELED, FILLED AND SWEPT

IN THE FIELD BY CONTRACTOR PRIOR TO

IMMEDIATELY FOR RESOLUTION.

BROOM CLEAN BY CONTRACTOR.

CONSTRUCTION. ANY VARIANCES ARE TO BE REPORTED TO THE OWNER'S REPRESENTATIVE

CEILING PLENUM WORK IN OCCUPIED AREAS, MATERIAL

INDICATED. BEGIN FABRICATION ONLY AFTER RECEIVING APPROVAL OF SHOP DRAWINGS.

MOVEMENT, SYSTEM SHUTDOWNS, ETC.

* PROVIDE DOOR STOPS AT ALL DOORS.

NOTED OTHERWISE.

THE SAME PLANE.

RECOMMENDATIONS AND INSTRUCTIONS, UNLESS

IMMACULATE CONDITION. CLEANING INCLUDES

REMOVAL OF SMUDGES, MARKS, STAINS,

TO BE ACCOMPLISHED BY A CONTRACTOR OTHER

THAN THE GENERAL CONTRACTOR AND IS NOT TO BE

REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.

CITY OF HOUSTON BUILDING CODES, ORDINANCES, AND

* DATA / TELEPHONE CABLE IN RETURN AIR PLENUM

* ALL OUTLETS WITHIN 6' OF LAV'S OR SINKS TO BE

* ALL GANGED SWITCHED SHALL HAVE GANG BARRIERS

AND A COMMON COVER PLATE. SWITCHES SHALL BE

SHALL BE PLENUM RATED OR INSTALLED IN CONDUIT.

- * GLASS TEMPERING ASSOCIATION * HARDWOOD PLYWOOD MANUFACTURER'S ASSOCATION
 * INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERING, INC. * MARBLE INSTITUTE OF AMERICA * METAL LATH / STEEL FRAMING ASSOCIATION
 * NATIONAL FIRE PROTECTION ASSOCIATION
- * NATIONAL FOREST FRODUCTS ASSOCIATION * NATIONAL PARTICLE BOARD ASSOCIATION
 * NATIONAL PAINT AND COATING ASSOCIATION * NATIONAL TERRAZZO AND MOSAIC, INC. * PORCELAIN ENAMEL INSTITUTE, INC.
 * SOUTHERN FOREST PRODUCTS ASSOCIATION
- STRUCTURE, FLOORS LEVELNESS, AND LIVE OR DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATION SHALL BE MADE OF EXISTING CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES AND * STEEL JOIST INSTITUTE VARIANCES. ALIGNMENT OF DOOR HEADS, CEILINGS, AND OTHER * STUCCO MANUFACTURER'S ASSOCIATION HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL * THE SOCIETY OF THE PLASTIC'S INDUSTRY, INC. AND SHALL NOT FOLLOW ANY VARIATIONS IN THE FLOOR PLAN. * THE COUNCIL OF AMERICA, INC. LEVEL EXISTING FLOORS AS NECESSARY USING APPROVED LEVELING * UNDERWRITERS' LABORATORY, INC.
 * WOOD AND SYNTHETIC FLOORING INSTITUTE COMPOUND OR FLOATING DEVICES. * WOODWORK INSTITUTE OF CALIFORNIA
 - 2.8 ALL CONTRACTORS SHALL CHECK AND CONFIRM ALL BUILDING OPENINGS AND CLEARANCES FOR DELIVERY OF MATERIALS OR EQUIPMENT. CONFIRMATIONS SHALL INCLUDE, BUT NOT BE LIMITED TO, ELEVATOR DOORS AND CAB, ENTRY DOORS, AND TENANT DOORS.

GENERAL CONDITIONS

AIA DOCUMENT A201, 1987 EDITION

TO SUBMITTING THE PROPOSAL.

RELATED WORK IN QUESTION.

EXISTING CONDITIONS
THE CONTRACTOR WILL BE DEEMED TO HAVE BEEN THOROUGHLY

THE CONTRACTOR WILL BE DEEMED TO HAVE BEEN THOROUGHLY

THE CONTRACTOR WILL BE DEEMED TO HAVE BEEN THOROUGHLY

FAMILIAR WITH THE CONDITIONS OF THE BUILDING INTERIOR BEFORE

SUBMITTING A PROPOSAL/BID FOR THIS WORK. AND TO HAVE BEEN

BE PERFORMED, OR THAT WILL, IN ANY MANNER, AFFECT THE WORK

WORK THAT COULD HAVE BEEN DETERMINED OR ANTICIPATED PRIOR

NO EXTRA PAYMENTS WILL BE MADE FOR CLAIMS FOR ADDITIONAL

2.2 CHECK AND VERIFY CONTRACT DOCUMENTS AND FIELD CONDITIONS FOR

BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY

FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK, OR

2.3 VERIFY ALL SPACE DIMENSIONS AS SHOWN WITH EXISTING SITE

2.5 ALL AREAS OF THE WORK MUST BE SEALED FROM ADJACENT

CONDITIONS BEFORE STARTING CONSTRUCTION.

ACCURACY, CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN

QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION

OCCUPIED PORTIONS OF THE BUILDING TO PREVENT THE ENTRY OF

THE PUBLIC, THE OWNER'S STAFF, TENANTS, AND PERSONNEL

EMPLOYED AT THE WORK SITE FROM ACCIDENTAL INJURY.

ADVANCE, WITH AS MUCH ADVANCE NOTICE AS POSSIBLE.

2.7 IN LAYING OUT AND DETAILING THE WORK TO BE CONSTRUCTED.

2.6 THE CONTRACTOR SHALL PATCH AND FINISH TO MATCH EXISTING.

DUST AND NOISE. FURNISH AND MAINTAIN TEMPORARY PARTITIONS AND

OTHER TYPES OF PROTECTION NECESSARY TO PREVENT AND PROTECT

ANY ADJACENT ROOMS OR CORRIDORS WHICH ARE AFFECTED, IN ANY

MANNER, BY THIS CONSTRUCTION, INCLUDING THOSE SPACES ABOVE

AND BELOW THE CONSTRUCTION SITE WHICH MAY PROVIDE REQUIRED

ACCESS TO ADJACENT SPACES, INCLUDING THOSE ABOVE OR BELOW

THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER IN

CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE EXISTING

ACCESS TO THE WORK. WHEN IT BECOMES NECESSARY TO OBTAIN

SATISFIED AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO

- 3. <u>MILLWORK</u>
 3.1 ALL CONCEALED MILLWORK, CARPENTRY, BLOCKING, GROUNDS, ROUGH BUCKS, ETC., ARE TO BE FIRE RESISTIVE IN ACCORDANCE WITH LOCAL MUNICIPAL CODES WHEN APPLICABLE.
- 3.2 PREPARE SHOP DRAWINGS SHOWING LOCATION OF EACH ITEM WITH SCALED AND DIMENSIONED PLANS AND ELEVATIONS, AND LARGE SCALED SECTIONS AND DETAILS SHOWING ATTACHMENTS DEVISED & ANY COMPONENTS OR HARDWARE WITH SPECIFICATIONS, & SUBMIT TO THE ARCHITECT FOR APPROVAL. 3.3 SUBMIT IN DUPLICATE FINISH SAMPLES FOR APPROVAL BY THE
- ARCHITECT. 3.4 ALL CABINET WORK TO BE CONSTRUCTED OF 3/4" PLYWOOD UNLESS OTHERWISE SPECIFIED. ALL EXPOSED EDGES OF DRAWER AND DOOR
- FRONTS TO BE HARDWOOD. 3.5 ALL EXTERIOR CABINET WORK SURFACES TO BE CLAD IN PLASTIC LAMINATE UNLESS OTHERWISE NOTED.

 3.6 SEAL ALL WOOD SURFACES NOT SCHEDULED TO RECEIVE PLASTIC
- LAMINATE CLADDING OR PAINT TO PREVENT MOISTURE PENETRATION.
- 3.7 ALL DRAWER PULLS ARE TO BE MOUNTED HORIZONTALLY AND DOOR PULLS ARE TO BE MOUNTED VERTICALLY. USE STANLEY NO. 4483 1/2 UNLESS NOTED OTHERWISE. 3.8 5MM HOLES SHALL BE USED FOR CABINET SHELF PINS.
- 3.9 CABINET DOOR HINGES SHALL BE FULLY CONCEALED (EUROPEAN) HINGES (GRASS AMERICA OR APPROVED EQUAL) 3.10 DRAWER SLIDES SHALL BE FULL EXTENSION, KNAPE & VOGT 8400 OR APPROVED EQUAL.
- 3.11 CABINET LOCKS SHALL BE NATIONAL No. C-8053 WITH TWO (2) KEYS PER LOCK PROVIDED. 3.12 PROVIDE 4" HIGH RESILIENT BASE ON CABINETS WITH A TOE SPACE,
- UNLESS NOTED OTHERWISE. 3.13 COORDINATE NEW CABINETRY WITH ELECTRICAL WORK WHERE SHOWN.
- 4.0 <u>DOORS, FRAMES, AND HARDWARE</u>
 4.1 ALL DOORS SHALL BE PLASTIC LAMINATE CLAD SOLID CORE WOOD DOORS WITH EDGES STAINED TO MATCH. 4.2 FRAMES TO BE PAINTED TO MATCH HARDWARE FINISH, OIL RUBBED
- 4.3 ALL DOORS AND FRAMES SHALL BE PROPERLY ALIGNED, PLUMB, AND
- 4.4 ALL LOCKS SHALL BE KEYED IN ACCORDANCE WITH OWNER'S REQUIREMENTS.
- 5.1 USE TYPE 'X' GYPSUM BOARD PANEL WHERE A FIRE RATING IS REQUIRED.
- 5.2 USE CEMENT BOARD GYPSUM BOARD AT ALL WET LOCATION AND ALL AREAS TO RECEIVE WALL TILE. 5.3 SPACE STUDS AS SHOWN, AND AS REQUIRED BY FIRE RESISTANCE
- SPECIFICATIONS, AND AT A MAXIMUM OF 16" ON CENTER. 5.4 ALL GYPSUM BOARD RETURNS SHALL HAVE A METAL CORNER BEAD. ALL EXPOSED GYPSUM BOARD EDGES SHALL HAVE CONTINUOUS 'L BEADS. ALL GYPSUM BOARD BELOW THE CEILING SHALL BE TAPED AND FLOATED; ABOVE THE CEILING, TAPED ONLY. 5.5 PROVIDE BRACING ABOVE THE CEILING ON ALL LONG UNBRACED
- WALLS, ABOVE DOORS AND ABOVE WINDOWS. 5.6 WHERE A WALL IS SHOWN ALIGNED WITH MORE THAN ONE COLUMN OR CORE WALL, WHICH ARE NOT ALIGNED, THE CONTRACTOR SHALL ALIGN WITH THE FURTHEST PROJECTION AND ALL OTHER SURFACES ALONG THE ALIGNMENT SHALL BE FURRED TO THIS LINE. WALLS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FINISHED FLUSH AND SMOOTH WITH BASE BUILDING STRUCTURE, UNLESS INDICATED OTHERWISE.
- 5.7 WHERE A DEMISING PARTITION ABOVE THE CEILING IS AT A RIGHT ANGLE TO THE STRUCTURAL DECK, PACK ALL VOIDS THOROUGHLY WITH FIBERGLASS INSULATION IN ORDER TO TIGHTLY CLOSE THE OPENINGS. OTHER PENETRATIONS IN DEMISING PARTITION ABOVE THE CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE.
- 5.8 WHERE RECESSED ELECTRICAL PANEL BOXES ARE LOCATED, THEY SHALL BE FLUSH WITH THE FINISHED FACE OF THE PARTITION. ADJUST PARTITION DEPTH AS REQUIRED. 5.9 PARTITIONS ABUTTING CURTAIN WALL MULLIONS SHALL NOT BE ATTACHED BY SCREWS OR ANY OTHER MECHANICAL FASTENERS.
- 6.1 CEILING HEIGHTS ARE 9'-0" UNLESS NOTED OTHERWISE. 6.2 CEILING GRID MEMBERS ARE ALUMINUM WITH A FACTORY FLAT WHITE
- FINISH ON ALL EXPOSED AREAS AND SHALL BE INSTALLED AS PER THE MANUFACTURERS INSTRUCTIONS 6.3 CEILING TILES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- FLOOR COVERINGS
 THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR HAVING THE FLOOR PROPERLY PREPARED, PATCHED AND LEVELED PRIOR TO THE INSTALLATION OF ANY FLOOR COVERING.
- 7.2 ALL FLOORING SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S FINISH SCHEDULE. 7.3 SUBMIT A FULL RANGE OF COLORS, TEXTURES, PATTERNS, AND FINISHES AVAILABLE FOR SELECTION.
- 7.4 LAY CARPET WALL-TO-WALL OR AS OTHERWISE SHOWN ON THE DOCUMENTS. MAKE NECESSARY CUTS ON THE JOB. CUT UNDER DOORS SUCH THAT CUT EDGES WILL LAY AT THE MIDPOINT UNDER THE WIDTH OF THE DOOR IN THE CLOSED POSITION. NEATLY TRIM CARPET EDGES FOR A TIGHT FIT ALONG WALLS; CUT AND FIT EVENLY AROUND ALL PROJECTIONS AND INTO THE TRIM STRIPS. SEAMS OF BUTTED ENDS OF CARPET SHALL ONLY OCCUR AT DOOR WAYS AND
- PASSAGE WAYS. 7.5 ALL DRYWALL PARTITIONS SHALL HAVE A 4" RESILIENT BASE UNLESS SPECIFIED OTHERWISE. USE A STRAIGHT BASE AT CARPETED SURFACES SURFACES OVER A PAD AND A COVED BASE AT HARD FLOORS AND DIRECT GLUED CARPET.
- 8.1 UNLESS OTHERWISE DIRECTED, ALL AREAS ARE TO BE PRIMED AND PAINTED IN ACCORDANCE WITH THE FINISH SCHEDULE.
- COLORS ARE TO BE SELECTED BY THE ARCHITECT. 8.2 ALL NEW DRYWALL PARTITIONS SHALL RECEIVE ONE PRIME COAT AND
- TWO FINISH COATS OF INTERIOR EGGSHELL LATEX ENAMEL 8.3 ALL WALLS SHALL BE THOROUGHLY DRY AND DUST FREE BEFORE
- 8.4 WALL TEXTURE SHALL BE "ORANGE PEEL" (SMALL FLAT ROUNDED 8.5 ALL EXISTING PARTITIONS TO BE REPAINTED SHALL RECEIVE TWO
- FINISHED COATS OF EGGSHELL ALKYD ENAMEL. 8.6 ALL WOOD WORK AND CABINETRY SCHEDULED TO RECEIVE A PAINTED FINISH SHALL RECEIVE TWO FINISHED COATS OF SEMI-GLOSS ALKYD ENAMEL.

NOTE:

THIS IS AN INTERIOR BUILD-OUT OF A NEW RESTAURANT IN A PREVIOUSLY PERMITTED RESTAURANT LEASED SPACE, A-2 OCCUPANCY.

PREVIOUS PROJECT DATA:

PREVIOUS RESTAURANT "CAFE RED ONION"

1111 ELDRIDGE PARKWAY, SUITE 100 BUILDING ADDRESS: HOUSTON, TEXAS 77077

PREVIOUS PROJECT AREA

GROSS INTERIOR AREA: 5,800 SQUARE FEET

OCCUPANCY TYPE: A-2 RESTAURANT

CONSTRUCTION TYPE: II-B

ALLOWABLE BUILDING GROUP A-2: 2 STORIES/9,500 SF AREA / HEIGHT:

SPRINKLERED:

BUILDING CODES:

2006 International Building Code WITH CITY OF HOUSTON AMENDMENTS 2006 International Fire Code Electrical Code 2011 National Electrical Code

Plumbing Code 2006 Uniform Plumbing Code Mechanical Code 2006 Uniform Mechanical Code

2009 International Energy Conservation Code

Americans with Disabilities Act, 28 CFR Part 36, Non-descrimination on the basis of disability by Public accomodations and in Commercial Facilities. Final Rule dated July 26, 1991.

PROPOSED PROJECT DATA:

<u>SCOPE:</u> INTERIOR BUILD OUT OF A TENANT LEASE SPACE FOR A RESTAURANT, APPROXIMATELY 4,970 SF, WITH EXTERIOR DINING PATIO.

BUILDING ADDRESS: 1111 ELDRIDGE PARKWAY, SUITE 100 HOUSTON, TEXAS 77077 VISTA MANAGEMENT COMPANY BUILDING OWNER: 1117 ELDRIDGE PARKWAY HOUSTON, TX 77077 TEL: 281.560.7320

PROJECT AREA

GROSS INTERIOR AREA: 4,970 SQUARE FEET

OCCUPANCY TYPE: A-2 RESTAURANT

OCCUPANT LOAD: ASSEMBLY UNCONCENTRATED 1 PER 15 SQ. FT./ NET DINING

2,346/15 = 157

KITCHEN 1 PER 200 SQ. FT./GROSS 1.806/200 = 9TOTAL INTERIOR OCCUPANTS 166 OCCUPANTS PATIO 60 OCCUPANTS

TOTAL 226 OCCUPANTS

CONSTRUCTION TYPE: II-B

ALLOWABLE BUILDING AREA / HEIGHT: GROUP A-2: 2 STORIES/9,500 SF

SPRINKLERED: NO

EGRESS WIDTH REQUIRED: 166 OCC. X .2 INCHES = 33.2 INCHES A-2 RESTAURANT OR 32" CLEAR, WHICHEVER IS GREATER.

EGRESS WIDTH PROVIDED: 144 INCHES

PARKING: 4,970 GSF RESTAURANT: 8 sp./1000 GSF = 39 REQ.PROVIDED: 40 PARKING SPACES (2 HC)

PLUMBING FIXTURES: A-2 RESTAURANT:

GROUP A-2-RESTAURANT

REQUIRED WATER CLOSETS MALE: 1 PER 75 = 21 WATER CLOSET + 2 URINALS WATER CLOSETS PROVIDED: REQUIRED WATER CLOSETS FEMALE: 1 PER 75 = 2WATER CLOSETS PROVIDED: 3 WATER CLOSETS

226 OCCUPANTS

REQUIRED LAVATORIES: LAVATORIES PROVIDED: 4 LAVATORIES

1 PER 200 = 2

DRAWING LIST:

PROJECT DATA A0.1 ADA SHEET A0.5 SCHEDULES

A1.0 EXISTING SITE PLAN

DEMO PLAN A2.1 FLOOR PLAN A2.3 FLOOR FINISH PLAN FLOOR LIFE SAFETY PLAN A2.4

SURVEY

A3.1 REFLECTED CEILING PLAN INTERIOR ELEVATIONS A4.0 A4.1 INTERIOR ELEVATIONS

A7.1 ENLARGED DETAILS MILLWORK DETAILS A8.2 A8.3 MILLWORK DETAILS

MILLWORK DETAILS

MECHANICAL

A8.4

S1.0

M1.1 MECHANICAL FLOOR PLAN M2.1 MECHANICAL LEGEND & SPEC'S M3.1 MECHANICAL DETAILS

ELECTRICAL

ELECTRICAL LIGHTING PLAN ELECTRICAL POWER PLAN

ELECTRICAL RISER DIAGRAM E3.1 E4.1 ELECTRICAL DETAILS & SPEC'S

PLUMBING

FS-3

P1.1 PLUMBING FLOOR PLAN P1.2 PLUMBING KITCHEN PLAN PLUMBING DETAILS P2.1 P3.1 PLUMBING GAS RISER P4.1 PLUMBING SCHEDULES

P5.1 PLUMBING RISER DIAGRAMS

FOOD SERVICE ELECTRICAL PLAN

FOOD SERVICE SPECIAL CONDITIONS PLAN

KITCHEN FOOD SERVICE EQUIPMENT PLAN FS-1 FS-2 FOOD SERVICE PLUMBING PLAN

ARCHITECTS, LP

9575 Katy Frwy., #200 Houston, Texas 77024 tel: 713.722.7071 fax: 713.722.7072

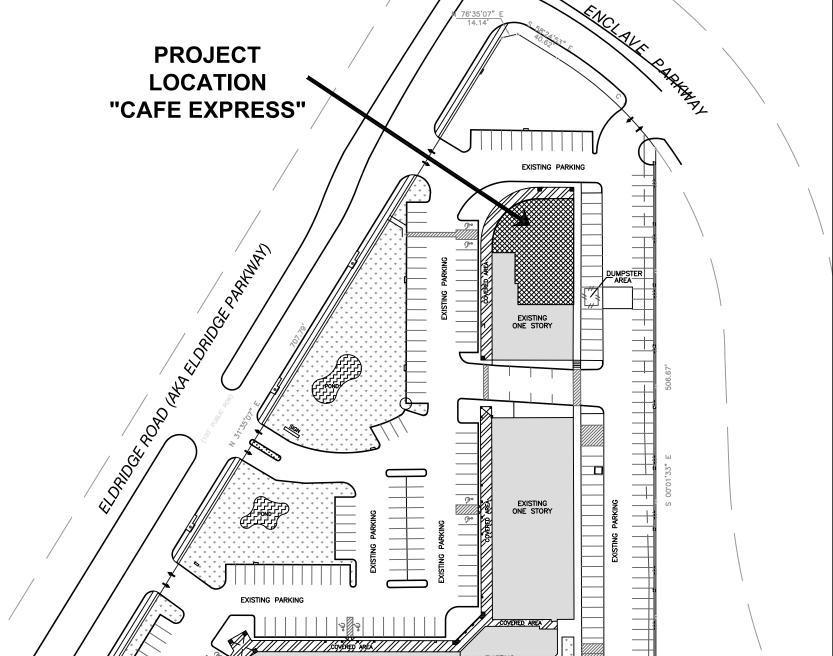
CONSULTANTS

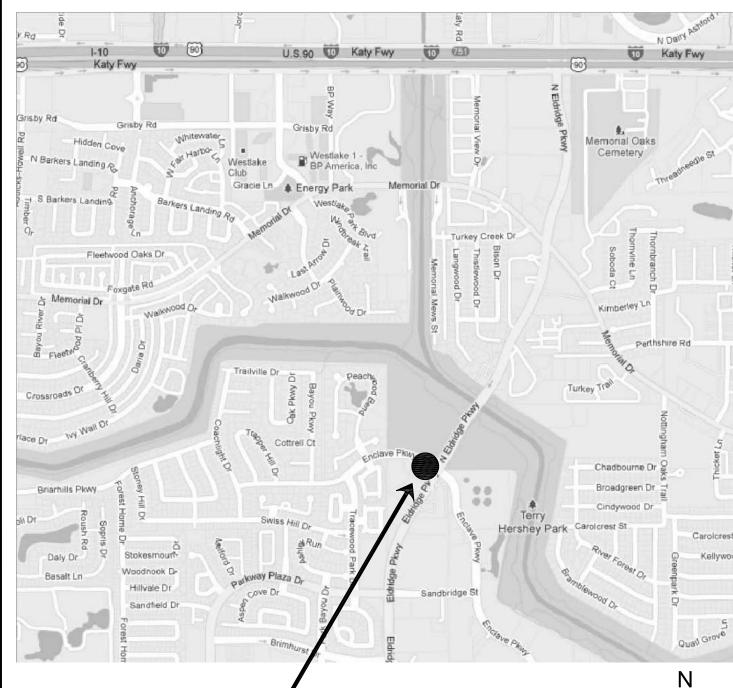
MEP Engineers

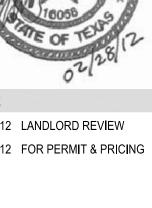
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Holste & Associates, Inc.

BUILDING CODE DATA DRAWING INDEX







02-27-12 LANDLORD REVIEW 02-28-12 FOR PERMIT & PRICING

PROJECT NAME



Cafe Express Restaurant PROJECT ADDRESS

1111 Eldridge Parkway #100 Houston, Texas 77077

PROJECT DATA &

SPECIFICATION

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,~____,

DETAIL SYMBOL

X — DETAIL NUMBER

NOTE REFERENCE SYMBOL

DOOR SYMBOL

DETAIL/ ELEVATION SYMBOL

PARTITION TYPE

7 EXTENT OF FINISH

REVISION CLOUD

REVISION MARKER

GRID MARKER

NEW DOOR AND WALL

- SHEET NUMBER

LEGEND

S 89°58'27" W 504.47

ICINITY MAP

SHEET NUMBER **PROJECT** LOCATION

PROJECT NUMBER 11052

GENERAL NOTES